

Development Control A Committee Agenda



Date: Wednesday, 18 October 2017

Time: 10.00 am

Venue: The Council Chamber - City Hall, College Green, Bristol, BS1 5TR

Distribution:

Councillors: Chris Windows (Chair), Mike Davies (Vice-Chair), Tom Brook, Stephen Clarke, Kye Dudd, Steve Jones, Olly Mead, Celia Phipps, Jo Sergeant, Clive Stevens and Mark Wright

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Date: Tuesday, 10 October 2017

www.bristol.gov.uk



Agenda

1. Apologies for Absence and Substitutions

(Pages 5 - 6)

2. Declarations of Interest

To note any interests relevant to the consideration of items on the agenda.
Please note that any declarations of interest made at the meeting which are not on the register of interests should be notified to the Monitoring Officer for inclusion.

3. Minutes of the previous meeting

To agree the minutes of the 6th September 2017, meeting as a correct record. **(Pages 7 - 11)**

4. Appeals

To note appeals lodged, imminent public inquiries and appeals awaiting decision. **(Pages 12 - 17)**

5. Enforcement

To note recent enforcement notices. **(Page 18)**

6. Public Forum

Up to 30 minutes is allowed for this item.



Any member of the public or Councillor may participate in Public Forum. The detailed arrangements for so doing are set out in the Public Information Sheet at the back of this agenda. Public Forum items should be emailed to democratic.services@bristol.gov.uk and please note that the following deadlines will apply in relation to this meeting:-

Questions - Written questions must be received 3 clear working days prior to the meeting. For this meeting, this means that your question(s) must be received in this office at the latest by 5 pm on Thursday 12th October 2017.

Petitions and Statements - Petitions and statements must be received on the working day prior to the meeting. For this meeting this means that your submission must be received in this office at the latest by 12.00 noon on Tuesday 17th October 2017.

Please note, your time allocated to speak may have to be strictly limited if there are a lot of submissions. This may be as short as one minute.

7. Planning and Development

To consider the following Planning Applications

(Page 19)

- | | |
|---|--------------------------|
| a) 17/02084/F - Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU | (Pages 20 - 37) |
| b) 17/02596/F - Unit 1 Maggs House 70 Queens Road Clifton Bristol BS8 1QU | (Pages 38 - 58) |
| c) 17/03716/F - Former Dorma Nightclub Clifton Down Station Whiteladies Road Bristol BS8 2PH | (Pages 59 - 126) |
| d) 17/03943/F - Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane Whitchurch Bristol BS14 0JZ | (Pages 127 - 154) |

8. Review of Planning Application Requirements Local List

The Committee is requested to endorse the adoption of the revised Planning Application Requirements List including the Drawings Standards document

(Pages 155 - 202)

9. Date of Next Meeting

The next meeting is scheduled for 2pm Wednesday 29th November 2017





Public Information Sheet

Inspection of Papers - Local Government
(Access to Information) Act 1985

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You can also inspect papers at the City Hall Reception, College Green, Bristol, BS1 5TR.

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You can get committee papers in other formats (e.g. large print, audio tape, braille etc) or in community languages by contacting the Democratic Services Officer. Please give as much notice as possible. We cannot guarantee re-formatting or translation of papers before the date of a particular meeting.

Committee rooms are fitted with induction loops to assist people with hearing impairment. If you require any assistance with this please speak to the Democratic Services Officer.

Public Forum

Members of the public may make a written statement ask a question or present a petition to most meetings. Your statement or question will be sent to the Committee and be available in the meeting room one hour before the meeting. Please submit it to democratic.services@bristol.gov.uk or Democratic Services Section, City Hall, College Green, Bristol BS1 5UY. The following requirements apply:

- The statement is received no later than **12.00 noon on the working day before the meeting** and is about a matter which is the responsibility of the committee concerned.
- The question is received no later than **three clear working days before the meeting**.

Any statement submitted should be no longer than one side of A4 paper. If the statement is longer than this, then for reasons of cost, only the first sheet will be copied and made available at the meeting. For copyright reasons, we are unable to reproduce or publish newspaper or magazine articles that may be attached to statements.

By participating in public forum business, we will assume that you have consented to your name and the details of your submission being recorded and circulated to the committee. This information will also be made available at the meeting to which it relates and placed in the official minute book as a public record (available from Democratic Services).

We will try to remove personal information such as contact details. However, because of time constraints we cannot guarantee this, and you may therefore wish to consider if your statement



contains information that you would prefer not to be in the public domain. Public Forum statements will not be posted on the council's website. Other committee papers may be placed on the council's website and information in them may be searchable on the internet.

Process during the meeting:

- Public Forum is normally one of the first items on the agenda, although statements and petitions that relate to specific items on the agenda may be taken just before the item concerned.
- There will be no debate on statements or petitions.
- The Chair will call each submission in turn. When you are invited to speak, please make sure that your presentation focuses on the key issues that you would like Members to consider. This will have the greatest impact.
- Your time allocation may have to be strictly limited if there are a lot of submissions. **This may be as short as one minute.**
- If there are a large number of submissions on one matter a representative may be requested to speak on the groups behalf.
- If you do not attend or speak at the meeting at which your public forum submission is being taken your statement will be noted by Members.

Webcasting/ Recording of meetings

Members of the public attending meetings or taking part in Public forum are advised that all Full Council and Cabinet meetings and some other committee meetings are now filmed for live or subsequent broadcast via the council's [webcasting pages](#). The whole of the meeting is filmed (except where there are confidential or exempt items) and the footage will be available for two years. If you ask a question or make a representation, then you are likely to be filmed and will be deemed to have given your consent to this. If you do not wish to be filmed you need to make yourself known to the webcasting staff. However, the Openness of Local Government Bodies Regulations 2014 now means that persons attending meetings may take photographs, film and audio record the proceedings and report on the meeting (Oral commentary is not permitted during the meeting as it would be disruptive). Members of the public should therefore be aware that they may be filmed by others attending and that is not within the council's control.

Public Document Pack

Bristol City Council Minutes of the Development Control A Committee



6th September 2017 at 2.00 pm

Members Present:-

Councillors: Chris Windows (Chair), Mike Davies (Vice-Chair), Harriet Bradley (for Celia Phipps), Tom Brook, Stephen Clarke, Kye Dudd, Steve Jones, Olly Mead, Jo Sergeant, Clive Stevens and Mark Wright

Officers in Attendance:-

Gary Collins, Peter Westbury, Laurence Fallon and Norman Cornthwaite

1. Apologies for Absence and Substitutions

Apologies were received from Councillor Celia Phipps, substitute Councillor Harriet Bradley.

2. Declarations of Interest

There were none.

3. Minutes of the previous meeting

In relation Empire Sports 223 Newfoundland Road, Councillor Mead confirmed that he had abstained but may have voted for had there been more information available concerning the heritage issue.

Resolved - that the minutes of the above meeting be approved as a correct record and signed by the Chair subject to the addition of the above reference.

4. Appeals

Old BRI Building – The Representative of the Service Director - Planning explained that the Applicants had appealed against non determination and that a report would be submitted to the Next Meeting of Committee B.

5. Enforcement

There were no enforcement issues to raise with Councillors.

6. Public Forum

Members of the Committee received public forum statements in advance of the meeting. The statements were heard before the application they related to and were taken fully into consideration by the Committee prior to reaching a decision.

7. Planning and Development

The Committee considered the following Planning Application.

(a) 16/065594/P - Land At The Adjoining Callowhill Court, Broadmead & The Horsefair

The Head of Development Management addressed the Committee at the start of this item.

He explained that the Committee had before them a very important planning application for the future of Bristol's development. He added that this was a crucial point in time for the Council as Local Planning Authority to take a view on this application and express its support.

He explained that the reason for saying this was that, starting the day before the Committee meeting, a Public Inquiry had commenced into the planning application for what would be a significant expansion to the The Mall development at Cribbs Causeway. South Gloucestershire Council had considered this application some time ago and resolved to grant planning permission. However, the Secretary of State had decided to call in the application for his own determination. As a result of this, the SoS has appointed a Planning Inspector to advise him on the decision that should be made and the Inspector would do this after having heard evidence from the developers, SGC and other interested parties such as the City Council who oppose the development. The Inquiry was due to close at the end of this month.

It was commonly recognised that there will be one major investment in retail-led development in the West of England sub-region during the next 10-15 years. This was likely to be either at Cribbs Causeway or at the site before the Committee at the meeting.

The officer went on to explain that the retail-led mixed use redevelopment of the Bristol Shopping Quarter was supported by policies within the adopted Bristol Local Plan which is the Council's Development Plan, particularly:

Policy BCS2 of the Core Strategy (Bristol City Centre's role as a regional centre to be promoted and strengthened)

Policy BCAP13 of the Central Area Plan (Major retail growth to be focused on sites in the Bristol Shopping Quarter)

Policy BCAP36 of the Central Area Plan (The Horsefair & Callowhill Court allocated for major retail-led mixed use redevelopment)

Officers felt that it is very important that the Secretary of State's Planning Inspector receives a clear message from the City Council about its support for the redevelopment of the site in central Bristol, so that the Inspector can weigh this up when advising the SoS on the proposals at Cribbs Causeway. So far, the Council (through the Cabinet decision

of 15th August) had agreed in principle to use CPO powers to enable the development of Callowhill Court. Today was a good opportunity, whilst the Call-in Inquiry is open, for the Council as LPA to express its support for the proposals.

He explained that taking this step is a serious matter. The Committee had a planning application before it that had to be determined. The application was an outline application and had been the subject of Environmental Impact Assessment. Many detailed issues (the Reserved Matters) are still to come forward and these would be considered by Committee in the future. The Committee, though, must be satisfied that there is sufficient information and that a suitably robust assessment has been carried out, in order for the Committee to be content to resolve to grant outline planning permission.

The applicants and officers have worked hard to get the application to where it is, bearing in mind the wider context that had been explained. The application had been thoroughly assessed at the right level of detail for an outline application with so many matters reserved.

He explained that the exception to this though is the issue of air quality. Unfortunately, officers could not say that at this point in time that they had fully assessed the air quality impact evidence that had been submitted with the application. As a result, on this particular issue officers could not provide the Committee with a clear recommendation or set out the scope of any potential mitigation measures that could be justified.

Therefore, the officer recommendation put forward is that the Committee should resolve that it is **minded to grant outline planning permission for the development**, but subject to the impacts of the development on air quality being fully assessed along with proposed mitigation measures. Officers' assessment of the air quality impacts would then be brought back to the Committee at the next meeting (18th October) for consideration, where the Committee would then be asked to make a final determination of the outline planning application. At that stage the Committee would still be able to fully consider the issue of air quality and weigh that up against Development Plan policy and all of the other material planning considerations before making a final resolution on the granting of outline planning permission.

Whilst this approach was not typical, officers felt that it was appropriate in the circumstances and was procedurally robust."

He then handed over to the case officer who summarised the Application highlighting the following:

- The Amendment Sheet which includes the Officers' Recommendation
- The Adopted Plan designates this as a retail area
- The extent of the site
- The Capacity Assessment
- The Committee is being asked to agree the principle of the development along with the access and delivery arrangements
- More detailed plans will be put before the Committee at a later date under Reserved Matters

The Representative of the Service Director, Transport summarised the transport considerations highlighting the following:

- Access
- Traffic Impact

- Car Parking
- Deliveries and Servicing
- Sustainable Travel

Questions and Answers

The following answers and clarifications were provided for Members of the Committee:

- There would no demolition of heritage buildings in Brunswick Square
- The extent of car park usage in Broadmead and Cabot Circus is known with capacity already reached in November and December; this development will inevitably create extra demand for car parking
- The proposed car park will not be for commuters and charging rates will reflect this
- There will also be a range of public transport for accessing the development
- A lot of detailed design has still to be agreed but the scheme will generate extra car journeys
- Although there is some residential development within the scheme, it is not possible to require that this be increased
- The scheme met the four criteria set out in Policy BCAP36 relating to this site
- York Street traffic information had been included in the traffic modelling
- M32 traffic information was also included in the traffic modelling
- It was confirmed that there would be changes to a number of bus routes should this scheme proceed
- The Air Quality Impact Report will be presented to the Committee at its Meeting in October when a final decision on the application will have to be made taking account of this report

Debate and Decision

During the debate on the application Members expressed their concerns about access arrangements by way of Brunswick Square, the car park provision which was thought to be unnecessarily large and would encourage additional car journeys leading to increased pollution, and congestion. There were also concerns that the scheme was not doing enough to encourage or promote public transport use and was giving a higher priority to car usage over public transport usage.

Councillor Stevens stated that he was minded to vote against the application for the following reasons:

Does not meet BCS2 as plenty of evidence priority is not being given to pedestrians, cyclists and buses over cars.

Does not meet DM23 as the effect of the 40 changes of traffic lights per hour along Bond St would cause unacceptable traffic conditions.

Does not meet BCS22 protection of heritage assets due to the effect on Brunswick Sq Conservation Area and its quiet, peaceful characteristic.

The Head of Development Management reminded Members that they could not re-design the scheme but were entitled to highlight what they agreed with what they had concerns about.

Councillor Windows stated that this was a very important decision and as the scheme is very important to the City. He would be voting in favour of it.

Councillor Wright moved the following Motion: The Committee strongly supports the redevelopment of the site but considers the car park access via Brunswick Square to be unacceptable; therefore the car park should be reduced and possibly moved or eliminated to allow for a more sensitive solution. If this is achieved, the Committee would be disposed to grant outline planning permission, subject to detailed air quality assessment.

Councillor Dudd seconded this Motion

Councillor Sergeant then moved an Amendment to the Motion that after the words “car park” the word “should” be replaced with the word “must”.

Councillor Mead seconded this Amendment and on being put to the Vote it was Carried 11 for and 0 against.

The Amended Motion was then put to the Vote it was Carried – 11 for and 0 against.

It was therefore

Resolved – that the Committee strongly supports the redevelopment of the site but considers the car park access via Brunswick Square to be unacceptable; therefore the car park must be reduced and possibly moved or eliminated to allow for a more sensitive solution. If this is achieved, the Committee would be disposed to grant outline planning permission, subject to detailed air quality assessment.

Date of Next Meeting

10.00 am on Wednesday 18th October 2017.

Meeting ended at 5.05 pm

CHAIR _____

DEVELOPMENT CONTROL COMMITTEE A

18 October 2017

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF CURRENT APPEALS

Householder appeal

Item	Ward	Address, description and appeal type	Date lodged
1	Clifton Down	12 South Terrace Bristol BS6 6TG Raising the level of part of the roof. Appeal against refusal Delegated decision	29/08/2017
2	Windmill Hill	179 St Johns Lane Bristol BS3 5AG Dormer in front roof slope. Appeal against refusal Delegated decision	14/09/2017
3	Hillfields	4 Woodcote Road Bristol BS16 4DE Two storey rear extension and front porch. Appeal against refusal Delegated decision	27/09/2017

Public inquiry

Item	Ward	Address, description and appeal type	Date of inquiry
4	Central	Old Bristol Royal Infirmary Building Marlborough Street (South Side) City Centre Bristol BS1 3NU Demolition of the existing buildings and redevelopment of the site to provide a part 7, 8 and 9 storey building fronting Marlborough Street, comprising 715 student bedspaces; communal areas and central courtyard; and erection of part 4, 5 and 6 storey building to the rear to accommodate a mix of uses, including office floorspace (Use Class B1) and/or medical school (Use Class D1) equating to 6,860sqm and a small commercial unit; associated access road, landscaping, public realm improvements, undercroft car parking and cycle parking. (MAJOR). Appeal against non-determination Committee	TBA

Written representation

Item	Ward	Address, description and appeal type	Date lodged
5	Easton	28 York Road Easton Bristol BS5 6BJ Enforcement notice appeal for the erection of a porch to the front. Appeal against an enforcement notice	21/04/2017
6	Henbury & Brentry	191 Passage Road Henbury Bristol BS10 7DJ Outline application for the construction of a house and two garages in garden of 191 Passage Road (with access and siting to be considered). Appeal against refusal Delegated decision	13/06/2017
7	Hartcliffe & Withywood	5 Crosscombe Drive Bristol BS13 0DN Demolition of garage and erection of two storey, 2 bed dwelling. Appeal against refusal Delegated decision	10/07/2017
8	Stoke Bishop	Land Between Ladies Mile & Clifton Down Bridge Valley Road Bristol BS8 Proposed pedestrian/cycle bridge over Bridge Valley Road. Appeal against refusal Committee	10/07/2017
9	Stockwood	52 Dutton Road Bristol BS14 8BW Erection of 2 storey, 2 bed dwelling. Appeal against refusal Delegated decision	10/07/2017
10	Brislington East	821 Bath Road Brislington Bristol BS4 5NL Replacement of 2 x illuminated 48-sheet advertising displays with 2 x 48-sheet digital LED displays. Appeal against refusal Delegated decision	21/07/2017
11	Ashley	Portland View Bishop Street Bristol Construction of 2no, 3 bed roof apartments at 5th floor (roof) level with associated works to ground floor rear for car parking and a secure cycle/refuse store. Appeal against refusal Delegated decision	25/07/2017

12	Clifton	9 Gloucester Street Clifton Bristol BS8 4JF Change of use of basement from builders store into an apartment, including alterations. Appeal against refusal Delegated decision	25/07/2017
13	Clifton	9 Gloucester Street Clifton Bristol BS8 4JF Change of use of basement from builders store into an apartment, including alterations. Appeal against refusal Delegated decision	25/07/2017
14	Eastville	310-312 Fishponds Road Eastville Bristol BS5 6RA Enforcement notice appeal for the installation of wooden railings around the perimeter of multiple flat roofs at the rear resulting in the creation of balconies Appeal against an enforcement notice	25/07/2017
15	Avonmouth & Lawrence Weston	24 Grove Road Coombe Dingle Bristol BS9 2RL Application to vary conditions 6 (Reptile Method Statement), 8 (Bird/Bat boxes), 9 (Badger Protection) and 22 (Listed of Approved Plans) attached to consent granted under app. No. 13/05391/F - proposed amendment to conditions 6, 8 and 9 to comply with approved plan and amended plans to reflect changes to development (Condition 22). Committee	28/07/2017
16	Clifton	78 Princess Victoria Street Bristol BS8 4DB Erection of a new two storey dwelling. Appeal against refusal Delegated decision	02/08/2017
17	Clifton	60 Bellevue Crescent Bristol BS8 4TF Application for removal of condition 2 (which controls the use of the flat roof) and variation of condition 3 (which lists approved plans) of planning permission 15/03207/X. Appeal against refusal Delegated decision	02/08/2017
18	Clifton	60 Bellevue Crescent Bristol BS8 4TF Submission of detail in respect of glazing type required by condition 1 of permission 15/03207/X. Appeal against refusal Delegated decision	02/08/2017

19	Frome Vale	21 Sherston Close Bristol BS16 2LP Outline planning permission for the erection of dwelling with all matters reserved. Appeal against refusal Delegated decision	03/08/2017
20	Eastville	57 Redhill Drive Bristol BS16 2AG Demolition of existing garage and erection of a detached single dwelling, with associated access and parking. Appeal against refusal Delegated decision	08/08/2017
21	Westbury-on-Trym & Henleaze	48 Stoke Lane Westbury Bristol BS9 3DN Demolition of existing bungalow and erection of four replacement dormer bungalows. Appeal against refusal Delegated decision	17/08/2017
22	Ashley	17 Portland Square Bristol BS2 8SJ Application for removal or variation of a condition 9 following grant of planning permission. Application Reference Number: 15/05105/F - Change of use from offices (Use Class B1a) to 8 No Residential Dwellings (Use Class C3) with associated external and internal alterations, refuse and cycle store. Appeal against refusal Delegated decision	18/08/2017
23	Ashley	17 Portland Square Bristol BS2 8SJ Application for removal or variation of a condition 4 following grant of planning permission. Application Reference Number: 15/05106/LA - Change of use from offices (Use Class B1a) to 8 No Residential Dwellings (Use Class C3) with associated external and internal alterations, refuse and cycle store. Appeal against refusal Delegated decision	18/08/2017
24	Brislington West	116 Repton Road Bristol BS4 3LZ Two bedroom two storey dwelling. Appeal against refusal Delegated decision	23/08/2017
25	Lockleaze	167 Muller Road Bristol BS7 9RB Application for retention of vehicular access. Appeal against refusal Delegated decision	05/09/2017
26	Bishopston & Ashley Down	80 Radnor Road Bishopston Bristol BS7 8QZ Single storey front porch extension and roof extension. Appeal against refusal Delegated decision	11/09/2017

27	Brislington West	Motor Village Brislington Hill Bristol BS4 5AD Replacement of 2 x back to back internally illuminated 48-sheet advertising displays with 2 x back to back 48-sheet internally illuminated digital advertising displays. Appeal against refusal Delegated decision	12/09/2017
28	Central	Cafe Whitefriars Lewins Mead Bristol BS1 2NT Erection of a digital advertisement display unit measuring 3 metres by 6 metres. Appeal against refusal Delegated decision	12/09/2017
29	Southville	24 Islington Road Bristol BS3 1QB New dwelling adjacent to No.24. Appeal against refusal Delegated decision	19/09/2017
30	Hengrove & Whitchurch Park	24 Chiltern Close Bristol BS14 9RH Proposed two storey dwelling. Appeal against refusal Delegated decision	19/09/2017
31	St George Central	Land To Rear Of 67 Burchells Green Road Bristol BS15 1DT Outline application for 1 bedroom bungalow (access, layout and scale to be considered). Appeal against refusal Delegated decision	19/09/2017
32	Clifton Down	Allison Court Apsley Road Clifton Bristol BS8 2SL Construction of a 2 bed dwellinghouse (Class C3) with associated works. Appeal against refusal Delegated decision	19/09/2017
33	Hartcliffe & Withywood	85 Fair Furlong Bristol BS13 9HY Proposed new dwelling on the land at the rear of 85 Fair Furlong Appeal against refusal Delegated decision	29/09/2017

List of appeal decisions

Item	Ward	Address, description and appeal type	Decision and date decided
34	Central	<p>Old Bristol Royal Infirmary Building Marlborough Street (South Side) City Centre Bristol BS1 3NU</p> <p>Amended proposal Conversion of the Old BRI Hospital building including two upper storey additions and partial demolition to accommodate 6283sqm Office floorspace (Use Class B1) and 4031sqm Medical School (Use Class D1); and part 6, part 7, part 8, part 12, part 14, part 16, and part 20 storey building to the rear for student accommodation (Sui Generis) comprising 738 student bedspaces; communal areas and refurbishment of Fripps Chapel for communal student facility with ground floor commercial use (Use Class A3); associated landscaping, car parking and cycle parking.</p> <p>Appeal against refusal</p> <p>Committee</p>	<p>Appeal withdrawn</p> <p>11/09/2017</p>
35	Horfield	<p>73 Filton Grove Bristol BS7 0AW</p> <p>Removal of existing garage and construction of a 2 bedroom attached dwelling.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>06/10/2017</p>
36	Filwood	<p>129 Leinster Avenue Bristol BS4 1NN</p> <p>1 no detached 2 storey house.</p> <p>Appeal against refusal</p> <p>Delegated decision</p>	<p>Appeal dismissed</p> <p>29/08/2017</p>

DEVELOPMENT CONTROL COMMITTEE A

18th October 2017

REPORT OF THE SERVICE DIRECTOR - PLANNING

LIST OF ENFORCEMENT NOTICES SERVED

No Enforcement Notices to report

Development Control Committee A 18 October 2017

Report of the Service Director - Planning

Index

Planning Applications

Item	Ward	Officer Recommendation	Application No/Address/Description
1	Central	Grant	17/02084/F - Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU Change of use from Class A1 (retail) to Class A3 (restaurant/cafe) and the erection of louvre and ducting on rear elevation.
2	Central	Grant	17/02596/F - Unit 1 Maggs House 70 Queens Road Clifton Bristol BS8 1QU Proposed change of use from mixed A1/A3 to mixed A3/A4 use, facade alterations to ground floor.
3	Clifton Down	Grant	17/03716/F - Former Dorma Nightclub Clifton Down Station Whiteladies Road Bristol BS8 2PH Change of use from a vacant nightclub (Sui generis) to a gym (Class D2) to operate 24 hours a day and installation of compressors and associated external alterations.
4	Hengrove & Whitchurch Park	Grant subject to Legal Agreement	17/03943/F - Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane Whitchurch Bristol BS14 0JZ Construction of 261 residential units (comprising 27 x 1-bed units, 124 x 2-bed units, 67 x 3-bed units and 43 x 4-bed units) and associated landscaping, access and infrastructure works. (Major).

Development Control Committee A – 18 October 2017

ITEM NO. 1

WARD: Central **CONTACT OFFICER:** Anna Schroeder
SITE ADDRESS: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU

APPLICATION NO: 17/02084/F Full Planning

DETERMINATION DEADLINE: 15 June 2017

Change of use from Class A1 (retail) to Class A3 (restaurant/cafe) and the erection of louvre and ducting on rear elevation.

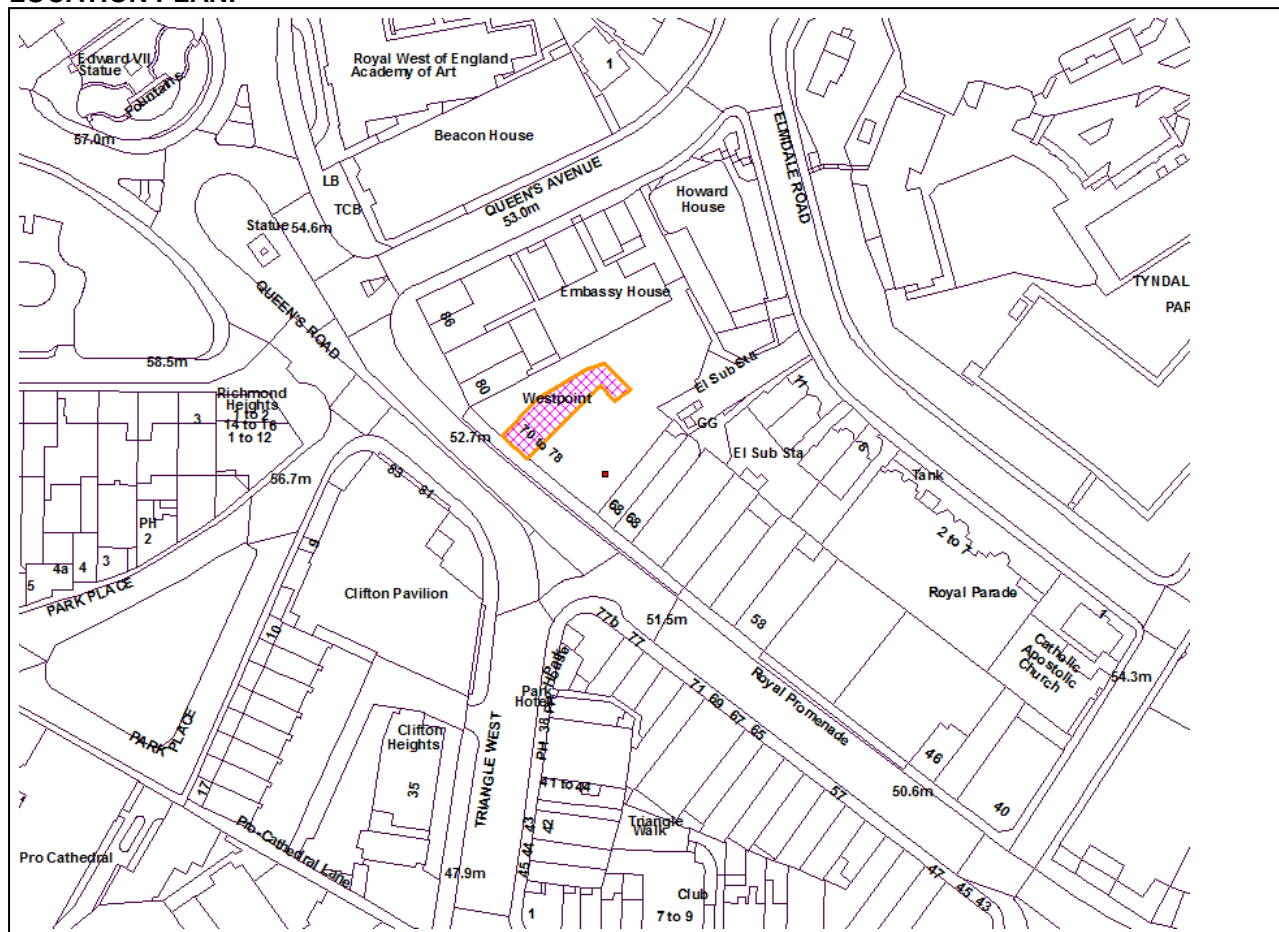
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Pegasus Planning Group
 First Floor South Wing
 Equinox North
 Great Park Road
 Almondsbury
 Bristol
 BS32 4QL

APPLICANT: Mucho Mas Ltd
 C/o Agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 18 October 2017**Application No. 17/02084/F: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU****SUMMARY**

The application seeks the change of use of Unit 4, Maggs House on the Queen's Road from an A1 retail unit to A3 restaurant use. The recommendation set out in this report is to grant conditional planning permission.

The key issues raised by the application are; the principle of the change of use and an assessment of the potential impacts on residential and environmental amenity.

The site forms part of the Queens Road and Park Street primary shopping frontage (PSF) and primary shopping area (PSA), as identified in the Central Area Plan (2015). 57% of units within the overall PSF are currently in A1 retail use.

The application has been referred to Committee by Councillor Smith, on the grounds that it is harmful to the retail area and contrary to local plan policies. Nine objections have been received to the proposal from third parties including Clifton and Hotwells Improvement Society, the Richmond Hill Residents' Association and Councillor Smith. Concerns raised include the impact of loss of retail from the PSF/PSA, impact of additional food and drink use and impact on amenity of local residents from increased noise and disturbance.

No objections have been raised from BCC pollution control team or the Avon and Somerset police.

Officers have concluded that, on balance, the change of use is acceptable and in accordance with local plan policies. The unit frontage is limited and the location is not considered oversaturated with A3 restaurant units, given the proportion of retail units retained within this part of the PSF/PSA, as well as the overall PSF/PSA. With the proviso of conditions on opening hours, servicing, deliveries, noise and waste storage, the proposals would be acceptable in respect of amenity and highway safety. Accordingly, it is the view of your officers that the application be approved, subject to conditions.

SITE DESCRIPTION

The application relates to Unit 4, a retail unit situated in Queen's Road. The unit lies within the Queen's Road and Park Street primary shopping area (PSA) and primary shopping frontage (PSF), as identified under the Central Area plan (2015). The site is also within the Park Street and Brandon Hill Conservation Area.

The unit extends over ground and first floors, with floor space of 313 sqm. The unit has been vacant since November 2016 and was last occupied by Costa as a coffee shop. There are further floors above the application unit, understood to be in use as offices/commercial use.

There is a shared service yard to the rear of Maggs House with access from Elmdale Road.

APPLICATION

Planning permission is sought for the change of use of the unit from A1 to A3 Use, with external alterations including erection of ventilation equipment to the rear elevation.

Opening hours are proposed as:

Mon - Sat 11:00 to 23:00

Sun/ Bank holidays Midday to 20:00

Development Control Committee A – 18 October 2017

Application No. 17/02084/F: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU

Plans indicate 38 covers.

Waste is proposed stored within the rear service yard accessed from Elmdale Road.

RELEVANT HISTORY

None relevant to this unit, however there is a concurrent application relating to Unit 1 Maggs House as follows -

17/02596/F Unit 1 Maggs House - Change of use from mixed A1/A3 to mixed A3/A4 use, facade alterations to ground floor. Pending consideration.

RESPONSE TO PUBLICITY AND CONSULTATION

Application advertised in press and on site notice. Neighbouring properties consulted by letter.

Nine objections have been received and are summarised below;

Councillor Smith has referred the application to be determined by Planning Committee on the following grounds - I believe this change of use application undermines the ability to retain a successful retail area (policy BCS7). The planning policy for this area needs to ensure that retail is protected.

The Clifton & Hotwells Improvement Society - Object on grounds that the retail shopping/restaurant/bar ratio is already imbalanced towards the latter. A mixed commercial economy is in danger of becoming one in which bar, club and restaurant overwhelmingly dominate to the detriment of the character of the area and to the quality of life of local residents.

Richmond Area Residents' Association - Object on the following grounds;

Principle

- Loss of an A1 unit in this location would harm the primary shopping area
- Non shopping uses already predominate within the immediate area, with over concentration of food and drink outlets.

Amenity

- The addition of yet another restaurant/cafe in an area which is already suffering from the night time economy and all the anti-social problems that brings to the surrounding residential areas is unacceptable.
- The location is fast becoming a sordid haunt of late-night drinkers who indulge in rowdy and antisocial behaviour.
- The impact on local residents in Richmond Heights, Richmond Hill, Park Place must be taken into account.

Heritage

- Further loss of retail from the parade would harm the character of the Conservation Area.

Other

- Use of appeal decisions on other cases in the applicant's submissions does not properly reflect their specific context or the significant differences between those cases and the present application.

Richmond Heights (Bristol) Management Ltd - Object on grounds of harm to amenity of residents of Richmond Heights from additional licenced premises, resulting in noise and antisocial behaviour. Additional licenced premises will affect the quiet enjoyment and sleep of residents; will compound a situation that already is clearly out of control.

Similar grounds for objection raised by other objectors:

- Principle; loss of retail, very few retail premises left in this part of Queens Road

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- Amenity;
- Queens Road adjoins a residential area and yet another fast food outlet with the resultant noise and litter can only add to the general decline of Clifton.
- Change of use would result in addition noise, pollution, drunks and problems for police, with strain on economy if always called out. This is very unfair and not safe for elderly people living alone.
- Heritage impacts - The street has many listed buildings, some residential and public; allowing additional licensed premises would harm the quality of the Conservation Area.

INTERNAL CONSULTTEES

Transport Development Management Team - No objections to the proposals in principle subject to conditions.

Pollution Control Team - The pollution control team have provided comments, taking into account the individual impact of the proposal, as well as cumulative impact with 17/02596/F relating to Unit 1 Maggs House.

No objection raised to the proposals in principle. Whilst complaints have been received regarding other licensed premises in the area from a check of our records it would appear that most of these have been regarding the nightclub premises (previously called the Bunker, now Analogue). This premises has a licence to be open until 6 am, considerably later than the times applied for on both of these applications. Some of the noise from these premises have also been associated with noise breakout via the external area at the rear of the premises and has to be noted that there are no outside areas proposed on either application.

There are currently a significant number of licensed premises on Queens Road/The Triangle and it would appear that these are well run and managed and are not giving rise to noise complaints from local residents.

Finally I acknowledge concern regarding the increase in numbers of customers in the street going to and particularly when leaving the premises and the potential for increase in noise from this. This area of Queens Road/The Triangle is already considerably busy with both traffic and pedestrians both during the day and at night and therefore background noise levels, predominantly due to traffic are high. I therefore feel it will be difficult to show any significant noise impact from people leaving these premises because of the already high background noise levels.

As the application is for a restaurant and not a take-away or a night club I feel it is unlikely that large groups of people will congregate and mill around outside the premises for long periods of time.

Conditions recommended regarding the following:

- Extract/Ventilation System,
- Odour Management Plan,
- Noise assessment from plant & equipment.
- Noise limitation from plant & equipment. -
- Use of refuse and recycling facilities - not on highway.
- Time limits on collection of refuse / bottles
- Time limits on deliveries.

The Conservation Officer has been consulted on the application and raised no objections on heritage grounds.

Development Control Committee A – 18 October 2017**Application No. 17/02084/F: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU****EXTERNAL CONSULTTEES**

Avon and Somerset Police - Initial objection raised to the proposals on increased potential for noise and disturbance affecting local residents arising from further licenced premises in the Triangle area. These objections have since been withdrawn, with confirmation that restriction of hours and conditions imposed under any premises licence is an appropriate compromise in this location.

RELEVANT POLICIES

Planning (Listed Buildings and Conservation Areas) Act 1990

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES**(A) PRINCIPLE**

The unit falls within the Queens road and Park Street Primary shopping frontage (PSF) and primary shopping area (PSA), as identified under the local plan. This frontage extends along both sides of Queens Road and Park Street, linked by a single frontage opposite the City Museum and Wills Memorial Tower.

Assessment of the application has included informal land use survey by officers and consideration of application submissions regarding land uses within the frontage. Survey work undertaken end of September 2017 confirms the overall PSF comprises 132 units. 75 of the units are occupied as A1 retail units, this includes the application unit. This is a predominance of 57% retail units to non-retail across the PSF based on unit numbers. 9 retail units are currently vacant or in-between occupation.

POLICY CONTEXT

Local plan policy BCS7 relates to town centres and retailing. The policy instructs that retail shop uses will predominate in the designated primary shopping areas of the city and that uses which contribute to maintaining the vitality, viability and diversity of centres will be encouraged.

Specific to the city centre, BCAP 13 identifies Park Street/Queens Road as the second most significant Primary Shopping Area after the Broadmead Shopping Quarter. The policy acknowledges change in this area in recent years with the loss of larger format retail and introduction of a range of restaurants, bars and cafes. Despite these changes, the policy acknowledges the high footfall and significant retail presence within the Shopping Area and confirms that a retail focus will be maintained here.

BCAP 16 provides detailed assessment criteria for changes of use of retail premises within city centre primary shopping frontages. It instructs that selective change of use to cafés, restaurants, pubs or bars (Use Classes A3 and A4) will be acceptable subject to meeting the identified criteria and providing the dominant shopping character of the primary frontage is maintained.

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Criteria;

- i. The proposed use would make a positive contribution to the vitality and viability of the Primary Shopping Frontage and the city centre as a whole; and
- ii. The proposed use would not dominate or fragment the Primary Shopping Frontage as a result of its scale, by creating a significant break in the retail frontage or by resulting in a harmful loss of retail floor space; and
- iii. The proposed use would be compatible with a retail area in that it includes a shopfront with a display function and would be immediately accessible to the public from the street.

Supporting text to policy BCAP 16 confirms that a significant break (criterion ii of the policy) will be considered to have occurred where uses would, individually or cumulatively, change the perceived function of that part of the frontage away from one associated primarily with shopping. The impact of any break will be assessed having regard to its extent, location and potential impact on shopper footfall at that location or in other parts of the shopping area.

Assessment

- i) Given the predominance of retail use across the PSF as a whole, and in accordance with the nature of an A3 use as a complementary active commercial use, it is considered that an A3 use would make a positive contribution to the vitality, viability and diversity of the PSF as a whole,
- ii) The retail character of the northern end of the PSF is less pronounced than elsewhere within the frontage, due in part to the non-retail uses within this end of the parade. The retail character of the area is strengthened by the strong retail presence in the central/southern stretch of this parade, including the larger units of Sainsburys and Wilkinsons. The retail character opposite (from Space NK to STA travel) is strong, and the presence of the Little Waitrose unit opposite also contributes to retail perception.

The submissions by the applicant emphasise that the majority of units within this part of the PSA are in retail use. 10 of the 22 units within this part of the PSF (between Queens Avenue and University Road) are classified as in retail A1 use. These include the units currently or formerly trading as coffee shops.

The frontage of the application unit is approximately 6m and it is considered that an additional A3 unit of this scale in this location, given surrounding uses, would not result in such a significant break in the retail frontage that would alter shoppers perception of this part of the parade or the overall PSF.

The cumulative impacts of both an additional A3 use (Unit 4) and A3/A4 use (Unit 1) has also been considered, given the proximity to other A3 units of Cau and Wahaca within Maggs House. Given the specific nature of the retail character of this part of the PSF outlined above, as well as the existing A3 element at ground floor within Unit 1, it is considered that the change of use of both units to food and drink use would have limited impact on shoppers perceptions of this part of the PSF/PSA or the PSF/PSA as a whole. For these reasons, it is considered that the proposals would not result in a significant break in the frontage, following the BCAP16 definition.

- iii) The application proposes no changes to the glazed shopfront and would be accessible to customers from the street.

On balance, for the above reasons, it is considered that the proposal is compliant with the relevant retail policies of the local plan and no objections are raised on the grounds of principle.

(B) AMENITY

Policy DM10 relates to food and drink uses and the evening economy. The policy outlines that development of food and drink uses will be acceptable provided that they would not harm the character of the area, residential amenity and/or public safety, either individually or cumulatively.

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Proposals which would result in a harmful concentration of food and drink uses will not be permitted. In order to assess the impact of food and drink proposals on an area the following matters will be taken into account:

- i. The number, distribution and proximity of other food and drink uses, including those with unimplemented planning permission; and
- ii. The impacts of noise and general disturbance, fumes, smells, litter and late night activity, including those impacts arising from the use of external areas; and
- iii. The availability of public transport, parking and servicing; and
- iv. Highway safety; and
- v. The availability of refuse storage and disposal facilities; and
- vi. The appearance of any associated extensions, flues and installations.

The application has been carefully considered against these criteria, taking into account the views of the pollution control team and Avon and Somerset Police. The concerns of local residents are noted, given the popularity of the area as a food and drink destination.

- i. The number, distribution and proximity of other food and drink uses, including those with unimplemented planning permission;

The stretch of the PSF between Queens Avenue and University Parade comprises 22 units. 3 of the units operate under an A3 consent; currently trading as Wahaca, Cau and Byron. Were this application approved, 4 units of 22 would trade as A3. The mixed use A3/A4 proposal at Unit 1 proposed under 17/02596/F would add to the food and drink floorspace but is already operating as a mixed A1/A3 use. In addition to the above existing food and drink uses, this stretch of the PSF also includes Gravity and Lizard Lounge nightclub, which are understood as Sui generis uses. The parade also includes Subway and Cafe Nero, which are understood as trading from A1 premises.

The stretch of the PSF from Triangle West to Triangle South (Space NK to STA Travel) opposite comprises 17 units, of which 4 operate or have been assessed as A3 uses, currently trading as Wagamama, Bills, Patisserie Valerie, B at One. This stretch of the parade includes Lola Los nightclub. The wider area includes many other licenced food and drink uses and is clearly a popular food and drink and late night destination.

Taking the limited number of A3 uses within the immediate parade into account, as well as the modest frontage of Unit 4, the addition of a further A3 unit as proposed is not considered to result in harmful oversaturation of A3 uses in this part of parade or wider PSF. The distribution and proximity of the unit to existing A3 uses has been considered, with third parties raising this matter as a concern, given that the application unit is sandwiched between A3 uses either side. On balance, whilst this proximity to other A3 uses is not ideal, it is considered insufficient grounds to recommend refusal, given the modest scale of the unit frontage and limited A3 uses in this part of the frontage.

- ii. The impacts of noise and general disturbance, fumes, smells, litter and late night activity, including those impacts arising from the use of external areas;
- These matters have been considered in conjunction with advice from the pollution control officer and the Avon and Somerset police. The applicants have applied for opening hours curtailed to 11pm, Mon - Sat, 10pm Sunday. The closest residential properties to the unit are understood as those within Richmond Heights.

Background noise levels in the vicinity of the unit at requested closing times are relatively high, due primarily to traffic noise. The pollution control officer has confirmed that it would be difficult to show any significant noise impact from people leaving the premises because of the already high background noise levels nearby. The Avon and Somerset police have confirmed no objections on public safety grounds.

Relevant recent appeal decisions nearby relating to late night commercial uses have emphasised the need for harm to amenity to be defined and supported with appropriate evidence. In this case, no

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evidence is put forward from BCC Pollution Control, Avon and Somerset police or third parties to demonstrate that the proposal would result in unacceptable noise and disturbance from increased levels of activity associated with the use. As such, and with the proviso of appropriate conditions limiting late night opening hours and noise from extract equipment, the proposal is considered acceptable in terms of noise impacts.

Fumes and Smells

Flue extract and ventilation equipment is proposed to the rear of Maggs House. Site visit checks have included ensuring suitable location for the proposed flue. Whilst some information has been provided with the application it is recommended that further details are sought via condition. Noise from the equipment is recommended conditioned to be below background noise levels. With satisfactory discharge and compliance with conditions, the proposal is considered acceptable in terms of odour management.

Litter

Refuse is proposed to be disposed of to the rear. As an A3 use, the potential for on street litter is considered limited.

External Areas

None proposed.

iii. The availability of public transport, parking and servicing; see Key Issue (D) Highways and Movement.

iv. Highway safety; see Key Issue (D) Highways and Movement.

v. The availability of refuse storage and disposal facilities; see Key Issue (D) Highways and Movement.

vi. The appearance of any associated extensions, flues and installations.

The flue and extract equipment is proposed to be installed to run up the rear of Maggs House. There are no public views onto the rear of Maggs House where the ventilation and extract is proposed. Given the scale and location of the flue, that would be situated in proximity to other ventilation and air con units, no concerns are raised on visual grounds.

(C) DESIGN AND HERITAGE

Concern has been expressed by third parties that the proposed change of use would result in harm to the character and appearance of the immediate Conservation Area, which includes a number of significant listed buildings.

No physical alterations are proposed to the unit frontage. Any signage scheme for the development would be subject to appropriate control via the advertisement consent process. Extract equipment is proposed to the rear, hidden from public view; as such the equipment would cause no harm to the Conservation Area. The Conservation Officer has been consulted and has raised no objections to the proposals on heritage grounds. For the above reasons it is considered that the proposal would result in a neutral impact on the character and appearance of the Conservation Area and would preserve the significance of the listed buildings nearby.

(D) HIGHWAYS AND MOVEMENT

Transport Development Management have considered the proposals and raised no objection in principle. The premises is in a sustainable location with good public transport links. The premises does not currently have allocated cycle parking provision. Given the scope of the application, sustainable location and cycle parking provision in the vicinity, further provision is not sought in this

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instance. Servicing the unit via the rear yard with access from Elmdale Road is acceptable. No concerns raised regarding Highway safety.

Refuse and recycling is proposed to be stored within the rear service yard serving Maggs House. Refuse and recycling will be carried out via contractor and collected from rear yard via standard collection vehicle. The application is accompanied by a Waste Management and Servicing Strategy. Various conditions are recommended to ensure acceptable highways impacts, including hours of servicing and delivery- on this basis no objections are raised on highways grounds.

CONCLUSION

Officers have taken into account the limited frontage of the unit and considered whether the change of use of this unit to A3 would result in a significant break in the PSF. On balance, for the reasons set out under Key Issue (A), it is considered that a significant break in the frontage would not occur (individually or cumulatively) and the loss of this modest unit would not be damaging to the perceived function of the shopping frontage or shopper footfall in this location or in other parts of the PSF and PSA.

Amenity impacts have been carefully considered under Key Issue (B), taking into account the nature of the area and proximity to residential uses. The pollution control team and the police have raised no objections, subject to conditions. Given background noise levels, limited scale of the A3 use, restraint of opening, servicing and delivery hours it is considered that a new A3 use in this location can be accommodated without significant harm arising to the living conditions of nearby residents.

In conclusion, approval of the application is recommended subject to appropriate conditions.

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of the proposal in relation to the Equalities Act 2010 in terms of impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence that different groups have or would have different needs, experiences, issues and priorities in relation to this particular proposal. Overall, it is considered that neither the approval nor refusal of this application would have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

COMMUNITY INFRASTRUCTURE LEVY

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

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RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)

2. Details of extract/ventilation system - not shown

No development shall take place until details of the means of ventilation for the extraction and dispersal of cooking smells/fumes, including details of its method of construction, odour control measures, noise levels, its appearance and finish have been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be installed before the use hereby permitted commences and thereafter shall be permanently retained.

Reason: These details need careful consideration and formal approval and to safeguard the amenity of adjoining properties and to protect the general environment.

3. Odour Management Plan

No development shall take place until there has been submitted to and approved in writing, by the Local Planning Authority, an Odour Management Plan, setting out cleaning, maintenance and filter replacement policies. The plan should include a written recording system to record and demonstrate when all such work is carried out. The approved odour management plan shall be complied with throughout the duration of the use.

Reason: To safeguard the amenity of nearby premises and the area generally.

4. Noise from plant and equipment

No development shall take place until an assessment to show that the rating level of any plant & equipment, as part of this development, will be at least 5 dB below the background level has been submitted to and approved in writing by the Local Planning Authority. The assessment must be carried out by a suitably qualified acoustic consultant/engineer and be in accordance with BS4142: 1997- "Method of rating industrial noise affecting mixed residential and industrial areas".

Reason: In order to safeguard the amenities of adjoining residential occupier.

Post occupation management

5. Hours open to customers Monday - Sunday

No customers shall remain on the premises outside the hours of 11:00 to 23:00 Monday to Saturday, and 12:00 to 20:00 on Sundays/Bank Holidays

Reason: In accordance with the application and to safeguard the residential amenity of nearby occupiers.

Development Control Committee A – 18 October 2017**Application No. 17/02084/F: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU****6. Use of Refuse and recycling facilities**

Activities relating to the collection of refuse and recyclables and the tipping of empty bottles into external receptacles shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

Reason: To safeguard the amenities of nearby occupiers

7. Activities relating to deliveries shall only take place between 08.00 and 20.00 Monday to Saturday and 09.00 and 19.00 on Sundays or Bank Holidays

Reason: To safeguard the amenities of nearby occupiers

List of approved plans**8. List of approved plans and drawings**

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

17003_GA_0001 Existing ground floor plan, received 20 April 2017

17003_GA_0002 Existing first floor plan, received 20 April 2017

17003_GA_0300 Site location plan, received 20 April 2017

17003_GA_0301 Site location plan, received 20 April 2017

17003_GA_0302 Site location plan, received 20 April 2017

17003_GA_1001 Proposed ground floor plan, received 20 April 2017

17003_GA_1002 Proposed first floor plan, received 20 April 2017

5619/001 Proposed ground floor heating and ventilation layout, received 20 April 2017

Waste and Delivery Management Strategy, received 5 October 2017

5619-002-C Proposed first floor heating and ventilation layout, received 8 August 2017

Reason: For the avoidance of doubt.

Advices

1. Application for advertisement consent needed: You are reminded of the need to obtain separate consent under the Town and Country Planning (Control of Advertisements) Regulations 1992 for any advertisements requiring express consent which you may wish to display on these premises.

2. Noise - plant & equipment

Anti vibration mounts should be used to isolate plant from fixed structures and a flexible connector used to connect the flue to the fan if there is a potential to transmit vibration to any noise sensitive property. Any systems will also need regular maintenance so as to reduce mechanical noise.

3. Odour Management Plan

Guidance on the above can be gained at `Guidance on the Control of Odour & Noise from Commercial Kitchen Exhaust System; Published electronically by Department for Environment, Food and Rural Affairs. Product Code PB10527.
<http://www.defra.gov.uk/environment/noise/research/kitchenexhaust/pdf/kitchenreport.pdf> And 'Odour Guidance for Local Authorities' Published electronically by Department for

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Application No. 17/02084/F: Unit 4 Maggs House 70-78 Queens Road Clifton Bristol BS8 1QU

Environment, Food and Rural Affairs.

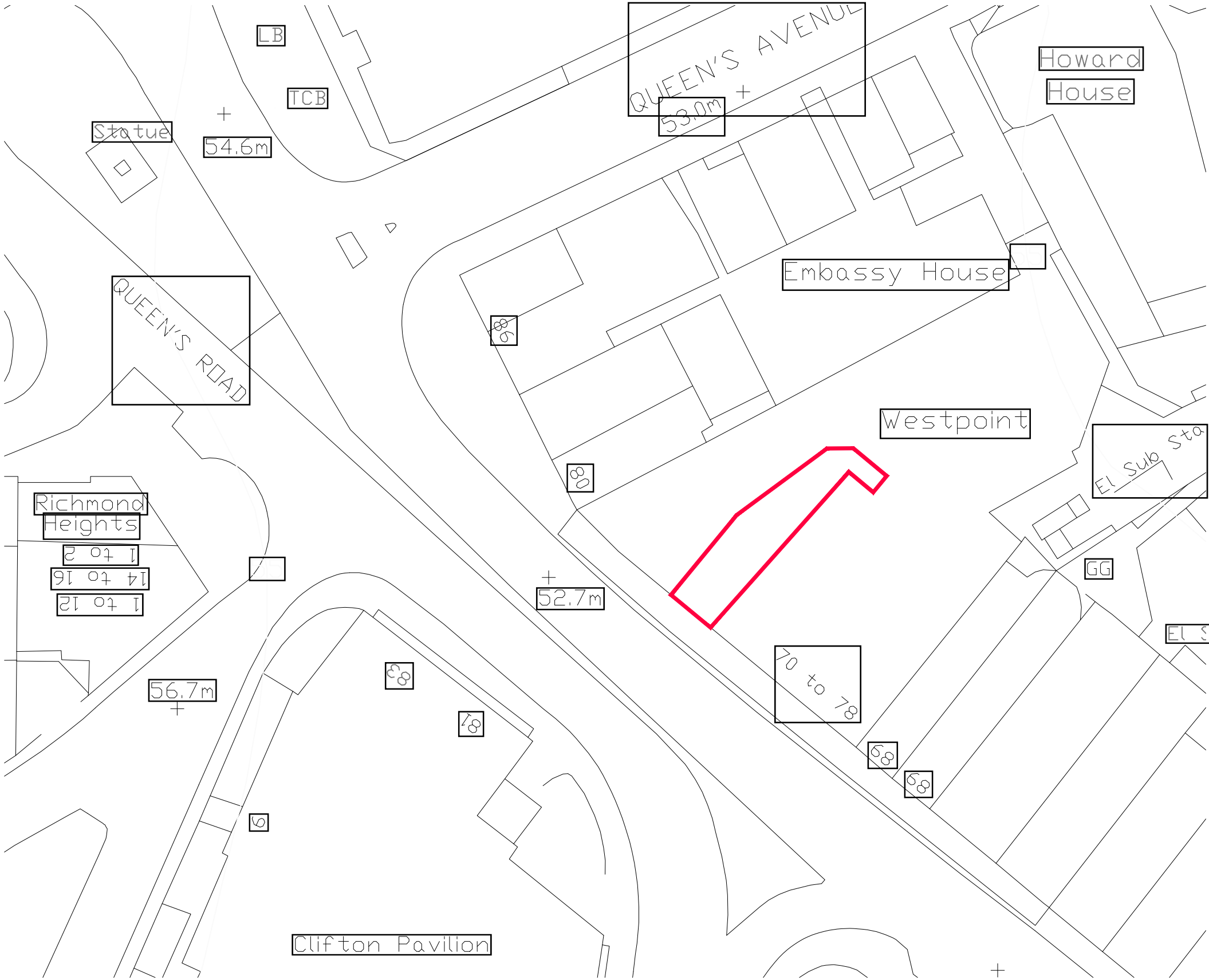
<http://www.defra.gov.uk/environment/quality/local/nuisance/odour/documents/local-auth-guidance.pdf>

4. Flues, ducts and extract systems: The technical details of the flues, ducting, extract system, filters etc. and their continuing operation should be the subject of detailed discussion and agreement with council officers. These areas of operation come within the controls of the Environmental Protection Act 1990, and it is important to establish and implement the requirements of this legislation.

Supporting Documents

1. Unit 4 Maggs House

1. Site location plan
2. Existing ground floor plan
3. Existing first floor plan
4. Proposed ground floor plan
5. Proposed first floor plan



SITE LOCATION PLAN
SCALE 1:500 @ A3



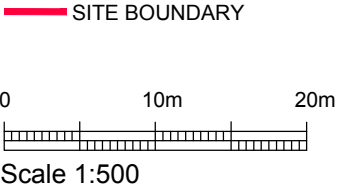
MAILEN DESIGN
Architecture Interiors Urban Design
www.mailendesign.com info@mailendesign.com

The author of this drawing takes no responsibility for any dimensions obtained by measuring or scaling from this drawing and no reliance may be placed on such dimensions. If no dimension is given it is the responsibility of the recipient to ascertain the dimension specifically from the author or by site measurement.

The sizing of all structural and service elements must always be checked against the relevant engineer's drawings. No reliance should be placed upon sizing information shown on this drawing.

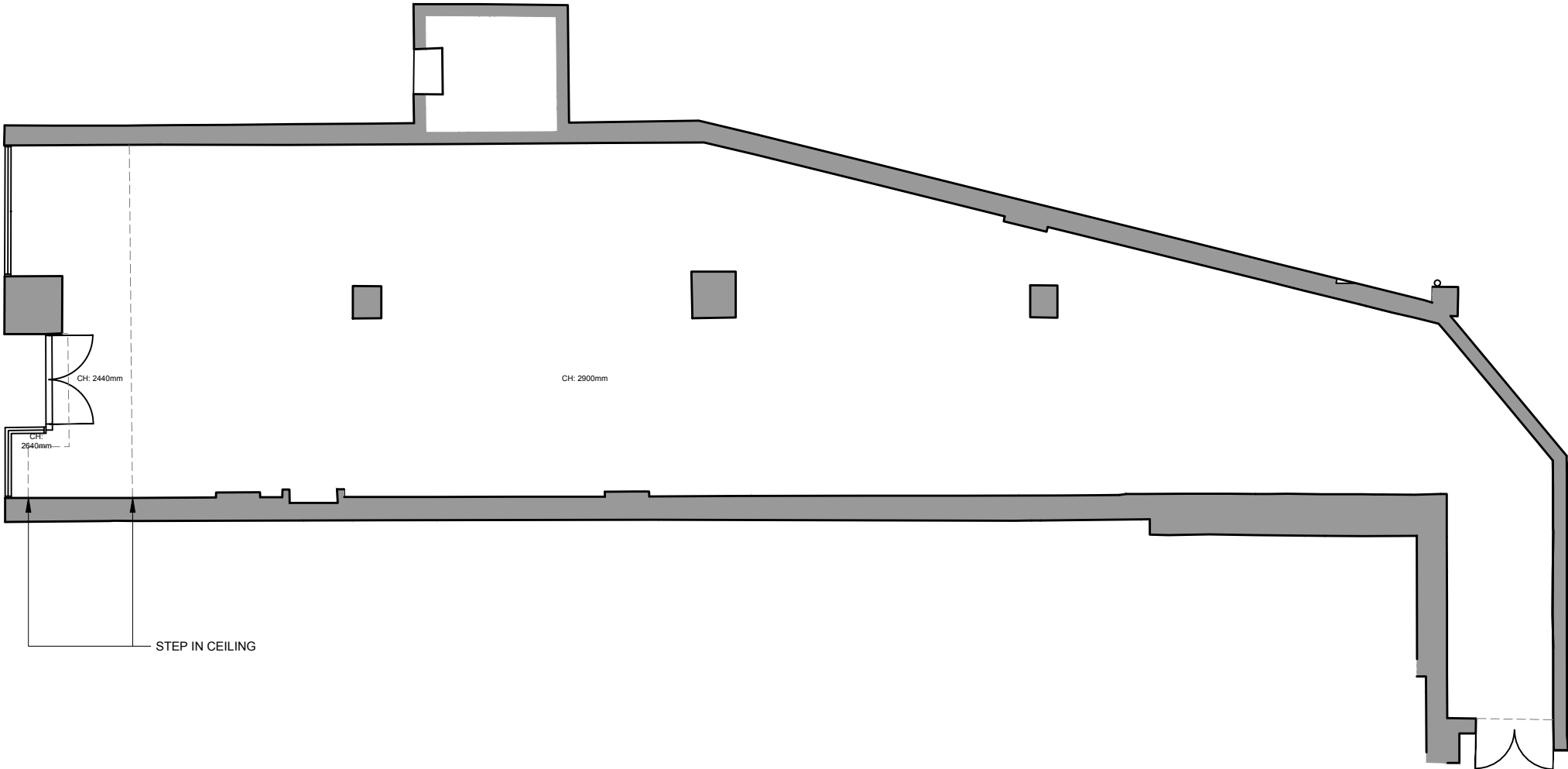
All areas are approximate and measured off preliminary drawings. They relate to the likely area of the building at the current state of the design and using the stated option either in accordance to client standards or the RICS Code of Measuring Practice, 6th Edition, RICS/ISVA. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or the like should include due allowances for the increases and decreases inherent in the design development and building process.

Report all drawing errors, omissions and discrepancies to the architect.



REV	DATE	NOTES	INT
1	05.04.17	FIRST ISSUE	CV

PROJECT TITLE CHILANGO UNIT 4, 70-78 QUEENS ROAD BRISTOL	
DRAWING TITLE SITE LOCATION PLAN	DRAWN GM CHECKED JP
DRAWING NO. 17003_GA_0301	SCALE 1:500 @ A3 REVISION 1



GROUND FLOOR
SCALE 1:100 @ A3

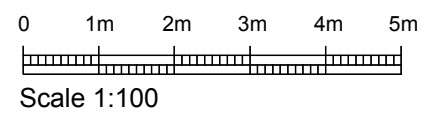
REV	DATE	NOTES
1	15.03.17	FIRST ISSUE
2	21.03.17	REVISED AC LOCATION
3	05.04.17	REVISED FOLLOWING PLANNING CONSULTANT COMMENTS

INT GM CV CV	PROJECT TITLE CHILANGO UNIT 4, 70-78 QUEEN STREET BRISTOL	
	DRAWING TITLE EXISTING GROUND FLOOR PLAN	DRAWN GM CHECKED JP
	DRAWING NO. 17003_GA_0001	SCALE 1:100 @ A3 REVISION 3

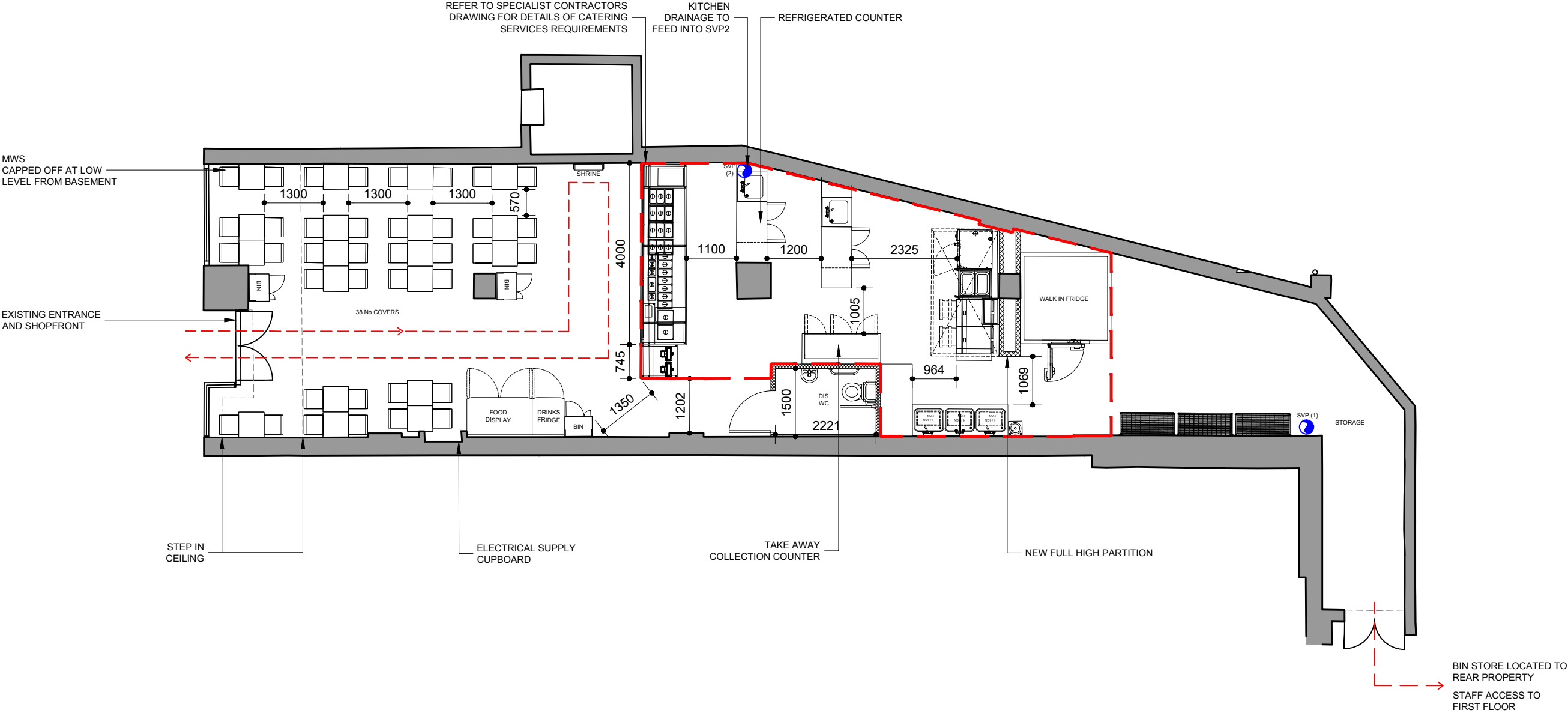


Report all drawing errors, omissions and discrepancies to the architect.

Chilango



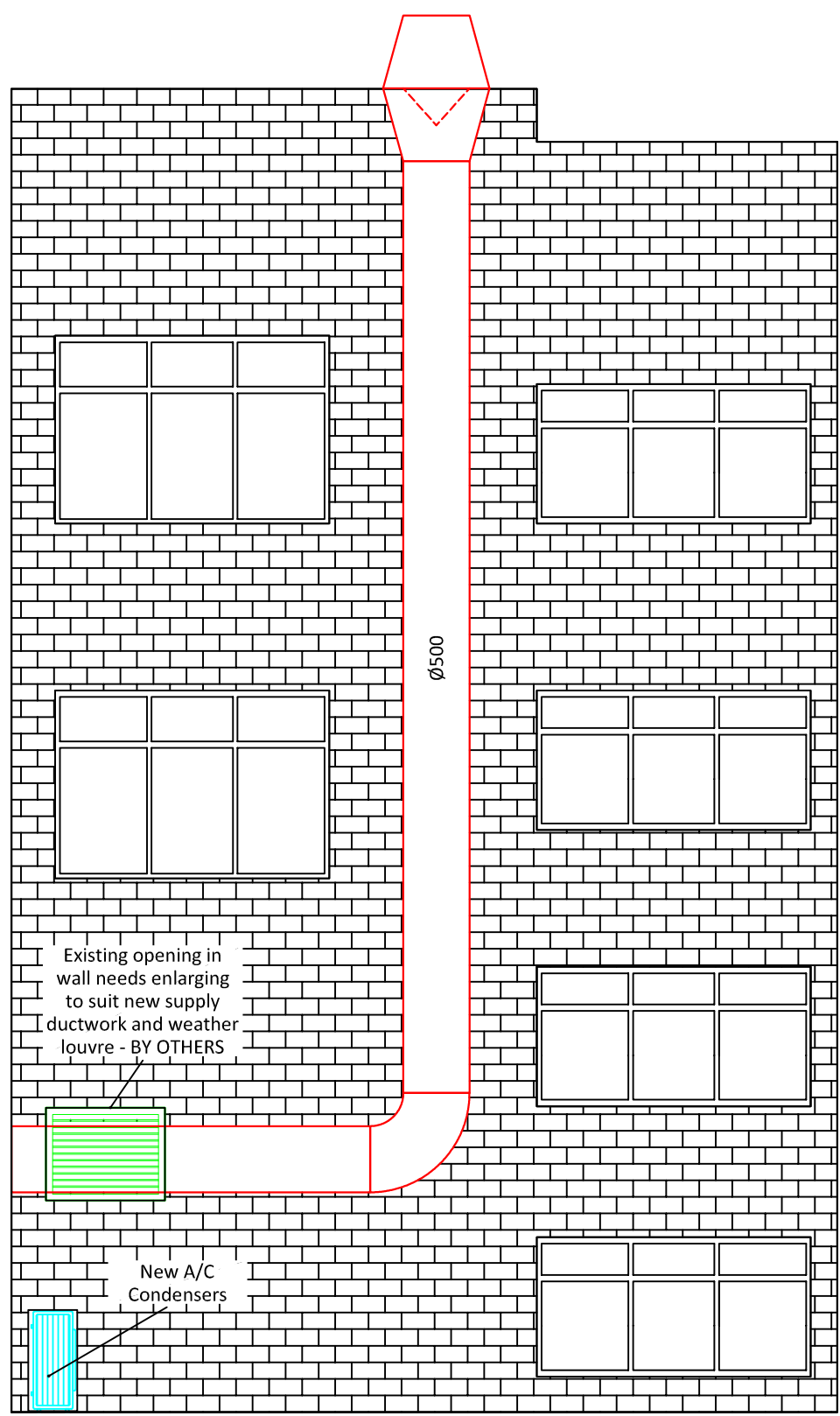
REV	DATE	NOTES	INT	PROJECT TITLE
1	15.03.17	FIRST ISSUE	GM	CHILANGO
2	21.03.17	REVISED AC LOCATION	CV	UNIT 4, 70-78 QUEEN STREET
3	05.04.17	REVISED FOLLOWING PLANNING CONSULTANT COMMENTS	CV	BRISTOL
				DRAWING TITLE
				EXISTING FIRST FLOOR PLAN
				DRAWN
				GM
				CHECKED
				JP
				DRAWING NO.
				17003_GA_0002
				SCALE
				1:100 @ A3
				REVISION
				3



GROUND FLOOR
SCALE 1:100 @ A3

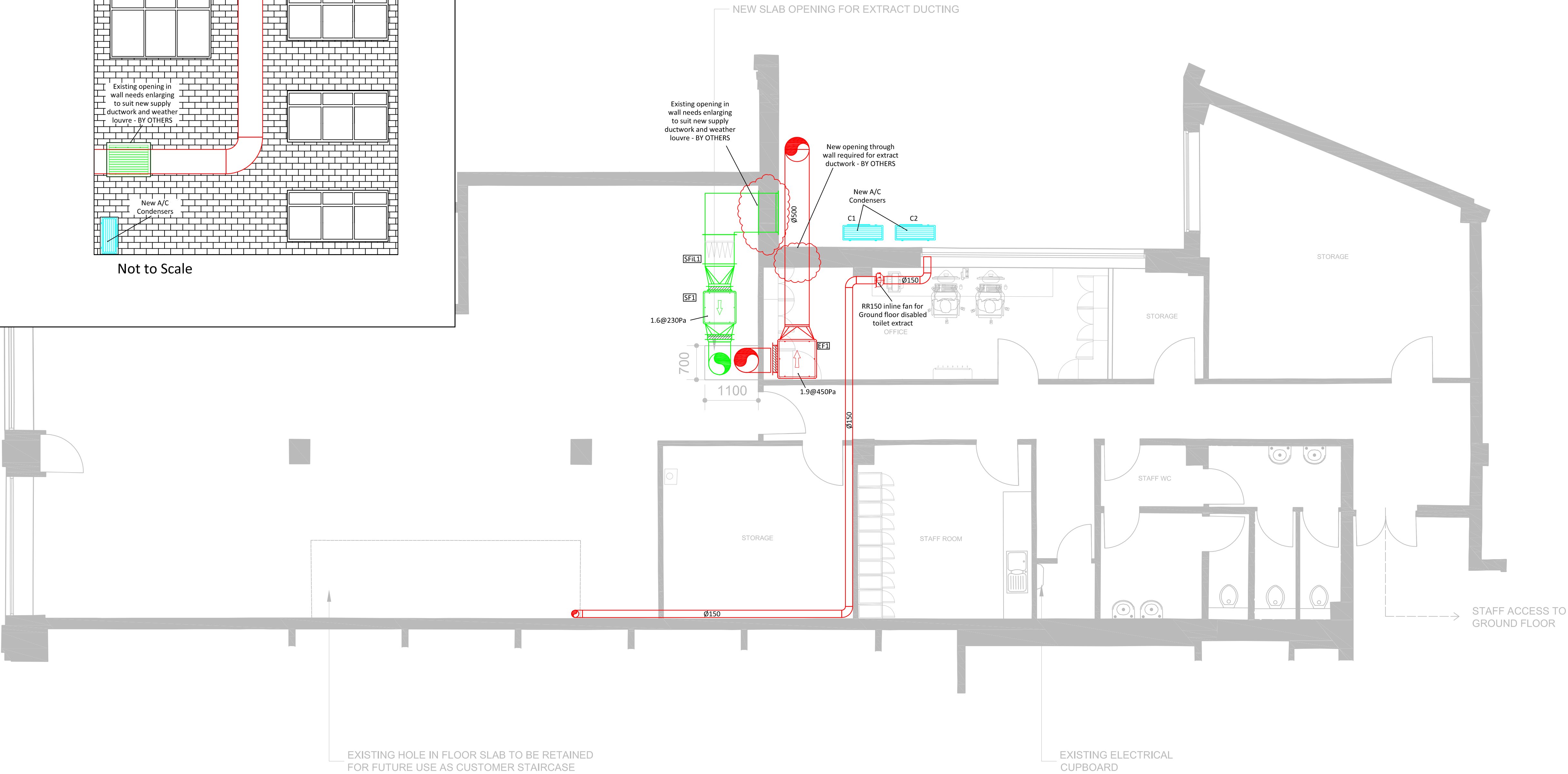
REV	DATE	NOTES
1	06.03.17	FIRST ISSUE
2	15.03.17	REVISED
3	21.03.17	REVISED AC LOCATION
4	05.04.17	REVISED FOLLOWING PLANNING CONSULTANT COMMENTS

INT	PROJECT TITLE	DRAWN
CV	CHILANGO	CV
GM	UNIT 4, 70-78 QUEENS ROAD	CHECKED
CV	BRISTOL	JP
	DRAWING TITLE	SCALE
	PROPOSED GROUND FLOOR PLAN	1:100 @ A3
	DRAWING NO.	REVISION
	17003_GA_1001	4



Not to Scale

Plan view of First Floor



FIRST FLOOR

NOTES:

THIS DRAWING MUST NOT BE SCALED; ALL SETTING OUT MUST BE CHECKED ON SITE; ALL DIMENSIONS MUST BE CHECKED ON SITE; THIS DRAWING MUST BE READ IN CONJUNCTION WITH THE RELEVANT SPECIFICATION CLAUSES; THIS DRAWING MUST NOT BE USED FOR LAND TRANSFER PURPOSE

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LEGEND:

	Supply Air Duct		A/C Pipe Work
	Extract Air Duct		Fire Damper
	Supply Air Grille		Volume Control Damper
	Extract Air Grille		Extract Air Valve
	A/C Ceiling Cassette		Supply Air Valve
			A/C Air Conditioning Unit
			Access Hatch

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www.leechgroupservices.co.uk

H.			
G.			
F.			
E.			
D.			
C.	MS	Section layout amended	07/08/2017
B.	MS	A/C Condenser amended	07/04/2017
A.	IT	FF Supply/Extract ductwork removed	22/03/2017
Rev	Rev by	Description	Date

PROJECT:

Chilango
Unit 4, 70-78 Queens Road
Bristol, BS8 1QU

TITLE:

Proposed First Floor
Heating and ventilation layout

PROJECT NUMBER:	Q5619
DATE:	13/03/2017
DRAWN BY:	IT
CHECKED BY:	MS
DRAWING NO:	5619/002 Rev C
SCALE	1:50@A1 - 1:100@A3



Development Control Committee A – 18 October 2017

ITEM NO. 2

WARD: Central **CONTACT OFFICER:** Anna Schroeder

SITE ADDRESS: Unit 1 Maggs House 70 Queens Road Clifton Bristol BS8 1QU

APPLICATION NO: 17/02596/F Full Planning

DETERMINATION DEADLINE: 6 July 2017

Proposed change of use from mixed A1/A3 to mixed A3/A4 use, facade alterations to ground floor.

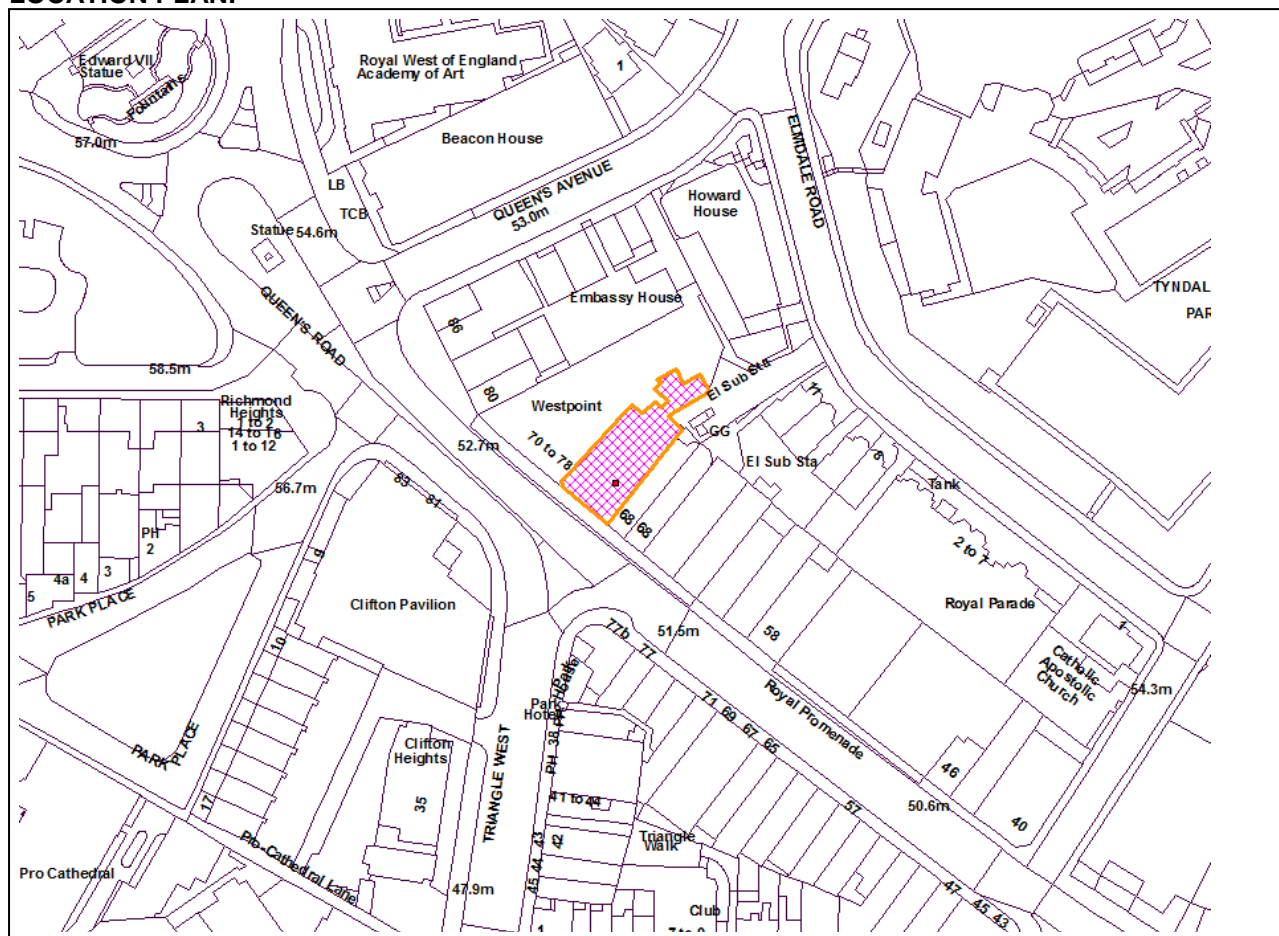
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Emery Planning Partnership Ltd
Units 2 - 4 South Park Court
Hobson Street
Macclesfield
SK11 8BS

APPLICANT: 98 King Street
Knutsford
Cheshire
WA16 6HQ

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 18 October 2017**Application No. 17/02596/F: Unit 1 Maggs House 70 Queens Road Clifton Bristol BS8 1QU****SUMMARY**

The application seeks the change of use of Unit 1, Maggs House on the Queen's Road, from a mixed use A1/A3 retail/restaurant unit to A3/A4 restaurant/bar use. The recommendation set out in this report is to grant conditional planning permission.

The key issues raised by the application are; the principle of the change of use and an assessment of the potential impacts on residential and environmental amenity.

The site forms part of the Queens Road and Park Street primary shopping frontage (PSF) and primary shopping area (PSA), as identified in the Central Area Plan (2015). 57% of units within the overall PSF are currently in retail use.

The application has been referred to Committee by Councillor Smith, on the grounds that it is harmful to the retail area and contrary to local plan policies. Fourteen objections have been received to the proposal from third parties including Clifton and Hotwells Improvement Society, the Richmond Hill Residents' Association, Councillor Rourke and Councillor Smith. Objections are focused on the grounds of further loss of retail from the PSF/PSA, as well as harm to the amenity of local residents from an additional late night food and drink/bar use in the area.

No objections have been raised from BCC pollution control team or the Avon and Somerset police.

Officers have concluded that, on balance, the change of use is acceptable and in accordance with local plan policies. The contribution of the mixed A1/A3 unit to the retail character of the PSF is already restricted, as the retail use is at first floor level. The loss of the A1 element is considered acceptable, as a strong proportion of retail units would be retained within this part of the PSF and PSA, with the overall PSF and PSA remaining predominantly in retail use. Objection to continuing partial A3 use from this site is considered unsustainable, given the existing partial A3 consent.

Amenity impacts from the additional A4 element have been carefully considered, given existing food and drink uses nearby and the popularity of the area as a late night destination. On balance, with the proviso of conditions limiting hours of operation, servicing and delivery and given the lack of evidence/objection from BCC pollution control or the police justifying a recommendation of refusal, it is considered that the impacts of the proposal can be sufficiently mitigated so as to avoid harm to the amenity of nearby residents.

Accordingly, it is the view of your officers that the application be approved, subject to conditions.

SITE DESCRIPTION

The application relates to Unit 1, a mixed use A1/A3 retail/restaurant unit situated in Queen's Road. The unit lies within the Queen's Road and Park Street primary shopping area (PSA) and primary shopping frontage (PSF), as identified under the Central Area plan (2015). The site is also within the Park Street and Brandon Hill Conservation Area.

The unit extends over ground and first floors, with floor space of 503sq.m. The unit has been occupied by Rise/ Friska since 2012. There are further floors above the application unit, understood to be in use as offices/commercial use.

There is a shared service yard to the rear of Maggs House with access from Elmdale Road.

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APPLICATION

Planning permission is sought for the change of use of the unit from mixed A1/A3 to mixed A3/A4 Use, with facade alterations to the ground floor.

Opening hours are proposed as:

Mon - Sat 08:00 to 12 midnight (half an hour later than the existing A1/A3 consent)

Sun 09:00 to 22:30 (same as existing A1/A3 consent)

The applicant has confirmed the number of dining covers to be 180, with maximum capacity of the venue confirmed as 230.

Waste is proposed stored within the rear service yard accessed from Elmdale Road.

RELEVANT HISTORY

12/03252/F Change of use at ground and first floor level from A1 retail to a composite A1 retail and A3 restaurant/cafe use. Proposed external flue, to rear. Granted subject to conditions.

Conditions attached to the consent included curtailment of hours as follows;

Hours open to customers Monday - Sunday

No customers shall remain on the premises outside the hours of 08.00 to 23.30 Monday to Saturday and 09.00 to 22.30 on Sundays.

There is a concurrent application relating to Unit 4, Maggs House as follows –

17/02084/F Unit 4 Maggs House - Change of use from Class A1 (retail) to Class A3 (restaurant/cafe) and the erection of louvre and ducting on rear elevation. Pending consideration.

RESPONSE TO PUBLICITY AND CONSULTATION

Application advertised in press and on site notice. Neighbouring properties consulted by letter.

Fourteen objections have been received and are summarised below;

Councillor Smith has referred the application to be determined by Planning Committee on the following grounds - I believe this change of use application undermines the ability to retain a successful retail area (policy BCS7). This side of the road is primarily for the daytime and early evening economy this application starts to change the nature of the rank of units and could set an unwelcome precedent. On this basis I also consider that the application contradicts DM10 and BCAP16

Councillor Rourke has objected on the following grounds - I object to this change of use as I believe that area has reached a tipping point. The original designation of the street was for retail but it is now losing out to the night-time economy. I understand the fear that refusal to grant change of use permission to A3 or A4 might lead to empty buildings, however, as the number of shops in the area diminishes, so will the number of customers brought to the area and we are in a downward cycle - more retail premises will close. I strongly believe that there should be no more change of use from A1/A2 on this street as the character of the area, so close to a residential area, cannot be allowed to continue to change. Queen Street was so obviously intended to be a row of shops but one has to work hard to see the architectural legacy.

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The Clifton and Hotwells Improvement Society- The retail shopping/restaurant/bar balance in this part of Clifton has already tilted too far towards the latter. Thus a mixed commercial economy is in danger of becoming one in which bar, club and restaurant overwhelmingly dominate to the detriment of the character of the area and to the quality of life of local residents.

Richmond Area Residents' Association - Object on the following grounds;

Principle

- Loss of an A1 unit in this location would harm the primary shopping area
 -Non shopping uses already predominate within the immediate area, with over concentration of food and drink outlets. It is essential that there are no further A1 losses. The A1 use at no 70 comprises two thirds of the floor space and its loss is not acceptable.

Amenity

-There is already a major concentration of licensed food and drink outlets in the vicinity of no. 70 Queens Road, including large nightclubs. No further such A3 or A4 uses should be permitted in this location.

- The impacts of noise and general disturbance and late night activity - This application would create the potential for a major additional A4 drinking establishment, particularly in regard to the market for pre-drinks prior to attending clubs. We would ask officers to note the fact that a licensing application for the same premises has been made which conflicts with the applicant's Planning Statement. This application seeks licensed hours to 00.30 on Sunday-Wednesday nights, 01.30 on Thursday nights and 02.30 on Friday and Saturday nights.

(Case Officer note - Opening hours applied for under this application are curtailed to 12 midnight (half an hour later than the existing A1/A3 consent), Sun 22:30 (same as existing A1/A3 consent). In the event that planning permission is granted the operator would be obliged to comply with the shorter hours conditioned as part of the planning consent.)

Richmond Heights (Bristol) Management Ltd on behalf of all Richmond Heights residents

-Approval of the application will result in harm to residents of Richmond Heights amenity
 -Approval will compound a situation in the area already out of control in terms of late night uses, when the majority area trying to sleep.

Similar grounds for objection raised by other objectors:

-Objections to loss of A1 from the unit.

-Objections to the introduction of A4 element, an additional unit of this size operating as a drinking establishment will result in antisocial behaviour and unacceptable noise issues.

-Concerns about noise from any associated smoking area.

-78 Queens Rd - already nuisance issues from this adjoining site.

-Concerns raised about alcohol mixology trend and the health dangers of this type of bar.

-This site is large and is very close to several night clubs which cause chaos at night time and make one frightened to go out at night. It is now wanting to have a primary function as a bar since the bar functions are all on the ground floor. The restaurant area is upstairs with a very small kitchen.

-Concerns about waste storage and provision for recyclables. (Case Officer note - Waste Management Strategy confirms waste to be stored as existing, within the rear service yard; Capacity statement has been provided, as well as plans confirming waste storage area)

-There is no statement identifying how many covers and how many people this will serve. (Case Officer note - Applicant has confirmed the A3 element will have 180 covers).

INTERNAL CONSULTTEES

Transport Development Management Team - No objections to the proposals in principle, subject to conditions.

Pollution Control Team - The pollution control team have provided comments, taking into account the individual impact of the proposal, as well as cumulative impact with 17/02084/F relating to Unit 4

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Maggs House.

No objection raised to the proposals in principle. Whilst complaints have been received regarding other licensed premises in the area from a check of our records it would appear that most of these have been regarding the nightclub premises (previously called the Bunker, now Analogue). This premise has a licence to be open until 6 am, considerably later than the times applied for on both of these applications. Some of the noise from these premises have also been associated with noise breakout via the external area at the rear of the premises and has to be noted that there are no outside areas proposed on either application.

There are currently a significant number of licensed premises on Queens Road/The Triangle and it would appear that these are well run and managed and are not giving rise to noise complaints from local residents.

Finally I acknowledge concern regarding the increase in numbers of customers in the street going to and particularly when leaving the premises and the potential for increase in noise from this. This area of Queens Road/The Triangle is already considerably busy with both traffic and pedestrians both during the day and at night and therefore background noise levels, predominantly due to traffic are high. I therefore feel it will be difficult to show any significant noise impact from people leaving these premises because of the already high background noise levels.

As the application is for a mixed use restaurant/bar and not a take-away or a night club I feel it is unlikely that large groups of people will congregate and mill around outside the premises for long periods of time.

Conditions recommended regarding the following:

- Extract/Ventilation System,
- Odour Management Plan,
- Noise assessment from plant & equipment.
- Noise limitation from plant & equipment.
- Use of refuse and recycling facilities - not on highway.
- Time limits on collection of refuse / bottles
- Time limits on deliveries.

The Conservation Officer has been consulted on the application and raised no objections on heritage grounds.

EXTERNAL CONSULTEES

Avon and Somerset Police - Initial objection raised to the proposals on increased potential for noise and disturbance affecting local residents arising from further licensed premises in the Triangle area. These objections have since been withdrawn, with confirmation that restriction of hours and conditions imposed under the premises licence is an appropriate compromise in this location.

RELEVANT POLICIES

Planning (Listed Buildings and Conservation Areas) Act 1990

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

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In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES**(A) PRINCIPLE**

The unit falls within the Queens road and Park Street Primary shopping frontage (PSF) and primary shopping area (PSA), as identified under the local plan. This frontage extends along both sides of Queens Road and Park Street, linked by a single frontage opposite the City Museum and Wills Memorial Tower.

Assessment of the application has included informal land use survey by officers and consideration of application submissions. Survey work undertaken end of September 2017 confirms the overall PSF comprises 132 units. 75 of the units are occupied as A1 retail units, this includes the application unit. This is a predominance of 57% retail units to non-retail across the PSF based on unit numbers. 9 retail units are currently vacant or in-between occupation.

The stretch of PSF within which the unit is situated (from Queens Avenue to University Parade) comprises 22 units, of which 10 are sole retail (A1), including the large Sainsburys and Wilkinsons stores. As a mixed use A1/A3, the retail element within the application unit is acknowledged, although the contribution of the existing retail element to the PSF is clearly already diffused by the ground floor A3 character of the unit.

POLICY CONTEXT

Local plan policy BCS7 relates to town centres and retailing. The policy instructs that retail shop uses will predominate in the designated primary shopping areas of the city and that uses which contribute to maintaining the vitality, viability and diversity of centres will be encouraged.

Specific to the city centre, BCAP 13 identifies Park Street/Queens Road as the second most significant Primary Shopping Area after the Broadmead Shopping Quarter. The policy acknowledges change in this area in recent years with the loss of larger retail format and introduction of a range of restaurants, bars and cafes. Despite these changes, the policy acknowledges the high footfall and significant retail presence within the Shopping Area and confirms that a retail focus will be maintained here.

BCAP 16 provides detailed assessment criteria for changes of use of retail premises within city centre primary shopping frontages. It instructs that selective change of use to cafés, restaurants, pubs or bars (Use Classes A3 and A4) will be acceptable subject to meeting the identified criteria and providing the dominant shopping character of the primary frontage is maintained. As set out above, the application unit has operated under a mixed A1/A3 consent since 2012, as granted under 12/03252/F. The retail element since that time has been primarily from the upper floor, with ground floor established character more A3 informal restaurant with kitchen and seating.

BCAP 16 Criteria;

- i. The proposed use would make a positive contribution to the vitality and viability of the Primary Shopping Frontage and the city centre as a whole; and
- ii. The proposed use would not dominate or fragment the Primary Shopping Frontage as a result of its scale, by creating a significant break in the retail frontage or by resulting in a harmful loss of retail floor space; and
- iii. The proposed use would be compatible with a retail area in that it includes a shopfront with a display function and would be immediately accessible to the public from the street.

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Supporting text to policy BCAP 16 confirms that a significant break (criterion ii of the policy) will be considered to have occurred where uses would, individually or cumulatively, change the perceived function of that part of the frontage away from one associated primarily with shopping. The impact of any break will be assessed having regard to its extent, location and potential impact on shopper footfall at that location or in other parts of the shopping area.

It is noted that assessment of 12/03252/F (the parent application for the existing A1/A3 use) was tested against whether a wholly A3 cafe/ restaurant use would be acceptable in this location in order to determine whether any restriction on the mix of uses would be necessary were consent granted. No restriction of the mix of uses was imposed under that consent.

Assessment

i) Given the predominance of retail use across the PSF as a whole, and in accordance with the nature of an A3/A4 use as a complementary active commercial use, it is considered that the proposal would make a positive contribution to the vitality, viability and diversity of the PSF as a whole.

ii) The retail character of the northern end of the PSF is less pronounced than elsewhere within the frontage, due in part to the non-retail uses within this end of the parade. The retail character of the area is strengthened by the strong retail presence in the central/southern stretch of this parade, including the larger units of Sainsburys and Wilkinsons. The retail character opposite (from Space NK to STA travel) is strong, and the presence of the Little Waitrose unit opposite also contributes to retail perception.

Given that the existing retail element of Unit 1 is on the upper floor, with A3 on the ground, it is considered that the move to a mixed A3/A4 use to incorporate bar use as proposed would have limited impact on shoppers perceptions of this part of the PSF or the PSF and PSA as a whole. The loss of the retail element from the unit would not be considered to result in a significant break in the retail frontage due to the already subsidiary character of the retail element within Unit 1.

The cumulative impacts of both an additional A3/A4 use (Unit 1) and A3 use (Unit 4) have also been considered, given the proximity to other A3 units of Cau and Wahaca within Maggs House. Given the specific nature of the retail character of this part of the PSF outlined above, it is considered that the change of use of both units to food and drink use would have limited impact on shoppers perceptions of this part of the PSF/PSA or the PSF/PSA as a whole. For these reasons, it is considered that the proposals would not result in a significant break in the frontage, following the BCAP16 definition.

iii) The application proposes a glazed shopfront of acceptable design and would be accessible to customers from the street. On balance, for the above reasons, it is considered that the proposal is compliant with the relevant retail policies of the local plan and no objections are raised on principle grounds.

(B) AMENITY

Policy DM10 relates to food and drink uses and the evening economy. The policy outlines that development of food and drink uses will be acceptable provided that they would not harm the character of the area, residential amenity and/or public safety, either individually or cumulatively. Proposals which would result in a harmful concentration of food and drink uses will not be permitted. In order to assess the impact of food and drink proposals on an area the following matters will be taken into account:

- i. The number, distribution and proximity of other food and drink uses, including those with unimplemented planning permission; and
- ii. The impacts of noise and general disturbance, fumes, smells, litter and late night activity, including those impacts arising from the use of external areas; and
- iii. The availability of public transport, parking and servicing; and
- iv. Highway safety; and

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- v. The availability of refuse storage and disposal facilities; and
- vi. The appearance of any associated extensions, flues and installations.

The application has been carefully considered against these criteria, taking into account the views of the pollution control team and Avon and Somerset Police. The concerns of local residents are noted, given the popularity of the area as a food and drink destination and the scale of the proposed A3/A4 unit.

- i. The number, distribution and proximity of other food and drink uses, including those with unimplemented planning permission;

The stretch of the PSF between Queens Avenue and University Parade comprises 22 units. 3 of the units operate under an A3 consent; currently trading as Wahaca, Cau and Byron. The A3 proposal at Unit 4 proposed under 17/02084/F would increase this to 4 of 22 units in A3 use were the application approved. It is noted that both Wahaca and Cau consents have been approved following the A1/A3 existing approval on Unit 1.

In addition to the above existing food and drink uses, this stretch of the PSF also includes Gravity and Lizard Lounge nightclub, which are understood as Sui generis uses. The parade also includes Subway and Cafe Nero, which are understood as trading from A1 premises.

The stretch of the PSF from Triangle West to Triangle South (Space NK to STA Travel) opposite comprises 17 units, of which 4 operate or have been assessed as A3 uses, currently trading as Wagamama, Bills, Patisserie Valerie, B at One. This stretch of the parade includes Lola Los nightclub. The wider area includes many other licenced food and drink uses and is clearly a popular food and drink and late night destination.

Given that the existing use already allows for partial A3 use of unit, it is considered that objection to the partial A3 element of the proposals is unsustainable. The addition of an A4 element to this unit has been carefully considered, given the objections raised by third parties, as well as the proximity of other food and drink and late night uses. In planning terms, it is the nature of the use rather than the specific end operator that is considered.

In these circumstances, given the nature of the existing consent on the site, number of food and drink uses in the immediate vicinity and retail predominance within the PSA/PSF, the change to allow a mixed A3/A4 unit is not considered objectionable on grounds of number, proximity and distribution of other food and drink uses nearby, taking into account the lack of objection on oversaturation grounds from BCC pollution control and the police.

- ii. The impacts of noise and general disturbance, fumes, smells, litter and late night activity, including those impacts arising from the use of external areas;
- These impacts have been carefully considered in conjunction with advice from BCC pollution control officer and Avon and Somerset police. The applicants have applied for opening hours curtailed to midnight Mon - Sat, 10.30pm Sunday/Bank Holidays. The closest residential properties to the unit are understood as those within Richmond Heights.

Background noise levels in the vicinity of the unit at requested closing times are relatively high, due primarily to traffic noise. The pollution control officer has confirmed that it would be difficult to show any significant noise impact from people leaving the premises because of the already high background noise levels nearby. The Avon and Somerset police have confirmed no objections on public safety grounds.

Relevant recent appeal decisions nearby relating to late night commercial uses have emphasised the need for harm to amenity to be defined and supported with appropriate evidence. In this case, no evidence is put forward from BCC pollution control, Avon and Somerset police or third parties to demonstrate that the proposal would result in unacceptable noise and disturbance from increased

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levels of activity associated with the use.

It is noted that the BCC Licencing committee have already granted a premises licence for the premises and that this includes a detailed Operating Schedule.

As such, and with the proviso of appropriate conditions limiting late night opening hours and noise from extract equipment, the proposal is considered acceptable in terms of noise impacts.

Fumes and Smells

No additional extract equipment is proposed under the application.

Litter

Refuse is proposed disposed of to the rear. As an A3/A4 use, the potential for on street litter is considered limited.

External Areas

None proposed.

iii. The availability of public transport, parking and servicing; see Key Issue (D) Highways and Movement.

iv. Highway safety; see Key Issue (D) Highways and Movement.

v. The availability of refuse storage and disposal facilities; see Key Issue (D) Highways and Movement.

vi. The appearance of any associated extensions, flues and installations.

No extensions, flues or installations are proposed.

(C) DESIGN AND HERITAGE

The application includes the provision of a new frontage for the unit similar to that adjacent at the CAU premises. Concern has been expressed by third parties that the proposed change of use would result in harm to the character and appearance of the immediate Conservation Area, which includes a number of significant listed buildings.

Consideration has been given to the overall design and materials of the frontage, which is considered acceptable in the context of the character and appearance of the Maggs House frontage and frontages of surrounding units. Any signage scheme for the development would be subject to appropriate control via the advertisement consent process. The Conservation Officer has been consulted and has raised no objections to the proposals on heritage grounds. For the above reasons it is considered that the proposal would result in a neutral impact on the character and appearance of the Conservation Area and would preserve the significance of the listed buildings nearby.

(D) HIGHWAYS AND MOVEMENT

Transport Development Management have considered the proposals and raised no objection in principle. The premises is in a sustainable location with good public transport links. The premises does not currently have allocated cycle parking provision. Given the scope of the application, sustainable location and cycle parking provision in the vicinity, further provision is not sought in this instance. Servicing the unit via the rear yard with access from Elmdale Road is acceptable. No concerns raised regarding Highway safety.

Refuse and recycling is proposed stored within the rear service yard serving Maggs House. Refuse and recycling will be carried out via contractor and collected from rear yard via standard collection

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vehicle. The application is accompanied by a Waste Management and Servicing Strategy. Various conditions are recommended to ensure acceptable highways impacts, including hours of servicing and delivery.

CONCLUSION

Officers have taken into account the mixed use character of the unit as an A1/A3 use and considered whether the loss of the retail element from the unit would adversely affect the PSF/PSA. The cumulative impact of this application with 17/02084/F at Unit 4 has also been taken into account.

Given the upper floor location of the existing retail offer, predominance of retail use within this part of the PSF/PSA, as well as the overall PSF/PSA, it is concluded that the loss of retail represented by the proposal, (either individually or cumulatively with 17/02084/F at Unit 4) would not be damaging to the perceived function of the shopping frontage or shopper footfall in this location or in other parts of the PSF/PSA.

It is acknowledged that the area has a strong commercial character and is a popular late night destination. Given the other late night food and drink uses in the vicinity, the introduction of an A4 element to the unit, with a strong ground floor presence and identity, has been carefully considered.

On balance, with the proviso of conditions limiting hours of operation, servicing and delivery and given the lack of evidence or objection from BCC pollution control or the police justifying a recommendation of refusal, it is considered that the impacts of an A3/A4 use as proposed can be sufficiently mitigated so as to avoid harm to the amenity of nearby residents.

In conclusion, approval of the application is recommended subject to appropriate conditions.

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of the proposal in relation to the Equalities Act 2010 in terms of impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence that different groups have or would have different needs, experiences, issues and priorities in relation to this particular proposal. Overall, it is considered that neither the approval nor refusal of this application would have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

COMMUNITY INFRASTRUCTURE LEVY

Development of less than 100 square metres of new build that does not result in the creation of a new dwelling; development of buildings that people do not normally go into, and conversions of buildings in lawful use, are exempt from CIL. This application falls into one of these categories and therefore no CIL is payable.

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RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)

2. Details of extract/ventilation system - not shown

No development shall take place until details of the means of ventilation for the extraction and dispersal of cooking smells/fumes, including details of its method of construction, odour control measures, noise levels, its appearance and finish have been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be installed before the use hereby permitted commences and thereafter shall be permanently retained.

Reason: These details need careful consideration and formal approval and to safeguard the amenity of adjoining properties and to protect the general environment.

3. Odour Management Plan

No development shall take place until there has been submitted to and approved in writing, by the Local Planning Authority, an Odour Management Plan, setting out cleaning, maintenance and filter replacement policies. The plan should include a written recording system to record and demonstrate when all such work is carried out. The approved odour management plan shall be complied with throughout the duration of the use.

Reason: To safeguard the amenity of nearby premises and the area generally.

4. Noise from plant and equipment

No development shall take place until an assessment to show that the rating level of any plant & equipment, as part of this development, will be at least 5 dB below the background level has been submitted to and approved in writing by the Local Planning Authority. The assessment must be carried out by a suitably qualified acoustic consultant/engineer and be in accordance with BS4142: 1997- "Method of rating industrial noise affecting mixed residential and industrial areas".

Reason: In order to safeguard the amenities of adjoining residential occupier.

Pre occupation condition(s)

5. Further details of any applied manifestations to glazed frontage before relevant element started

Detailed drawings at the scale of 1:50 of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

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a) Applied manifestation

Reason: In the interests of maintaining a fully glazed active frontage and to maintain and contribute to the visual amenity and the character of the area.

Post occupation management

6. Hours open to customers Monday - Sunday

No customers shall remain on the premises outside the hours of 08:00 to 24:00 Monday to Saturday, and 09:00 to 22:30 on Sundays/Bank Holidays

Reason: In accordance with the application and to safeguard the residential amenity of nearby occupiers.

7. Use of Refuse and recycling facilities

Activities relating to the collection of refuse and recyclables and the tipping of empty bottles into external receptacles shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

Reason: To safeguard the amenities of nearby occupiers

8. Activities relating to deliveries shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays

Reason: To safeguard the amenities of nearby occupiers

List of approved plans

9. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Approved plans and drawings to be confirmed on amendment sheet.

Reason: For the avoidance of doubt.

Advices

1. Application for advertisement consent needed: You are reminded of the need to obtain separate consent under the Town and Country Planning (Control of Advertisements) Regulations 1992 for any advertisements requiring express consent which you may wish to display on these premises.

2. Noise - plant & equipment

Anti vibration mounts should be used to isolate plant from fixed structures and a flexible connector used to connect the flue to the fan if there is a potential to transmit vibration to any noise sensitive property. Any systems will also need regular maintenance so as to reduce mechanical noise.

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3. Details of extraction/ventilation system

It is recommended that any flues for the dispersal of cooking smells shall either:

- (a) Terminate at least 1 metre above the ridge height of any building in the vicinity, with no obstruction of upward movement of air or:
- (b) Have a method of odour control such as activated carbon filters, electrostatic precipitation or inline oxidation.

Guidance on the above can be gained at 'Guidance on the Control of Odour & Noise from Commercial Kitchen Exhaust Systems' available from www.defra.gov.uk by searching for Product Code PB10527.

4. Odour Management Plan

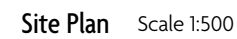
Guidance on the above can be gained at 'Guidance on the Control of Odour & Noise from Commercial Kitchen Exhaust System', Published electronically by Department for Environment, Food and Rural Affairs. Product Code PB10527.
<http://www.defra.gov.uk/environment/noise/research/kitchenexhaust/pdf/kitchenreport.pdf> And
 'Odour Guidance for Local Authorities' Published electronically by Department for Environment, Food and Rural Affairs.
<http://www.defra.gov.uk/environment/quality/local/nuisance/odour/documents/local-auth-guidance.pdf>

5. Please note that this planning application has been assessed against current planning legislation only. The applicant (or any subsequent owner or developer) is therefore reminded that the onus of responsibility to ensure the proposed cladding installation meets current fire safety regulations lies fully with them and that they are legally obliged to apply for the relevant Building Regulations.

Supporting Documents

1. Unit 1 Maggs House

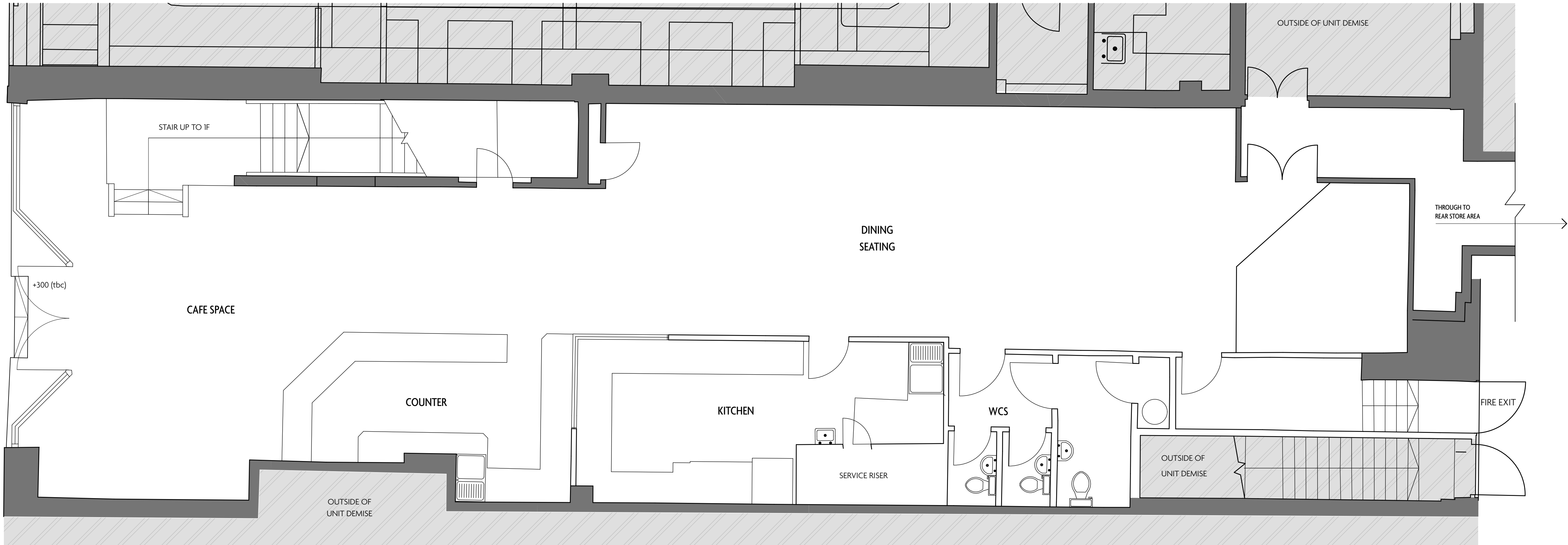
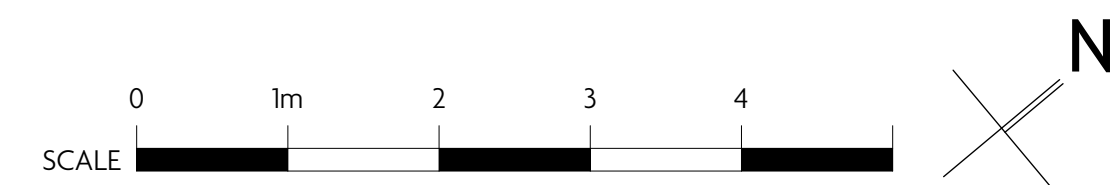
1. Location plans
2. Existing ground floor plan
3. Existing first floor plan
4. Existing shopfront
5. Proposed ground floor plan
6. Proposed first floor plan
7. Proposed shopfront



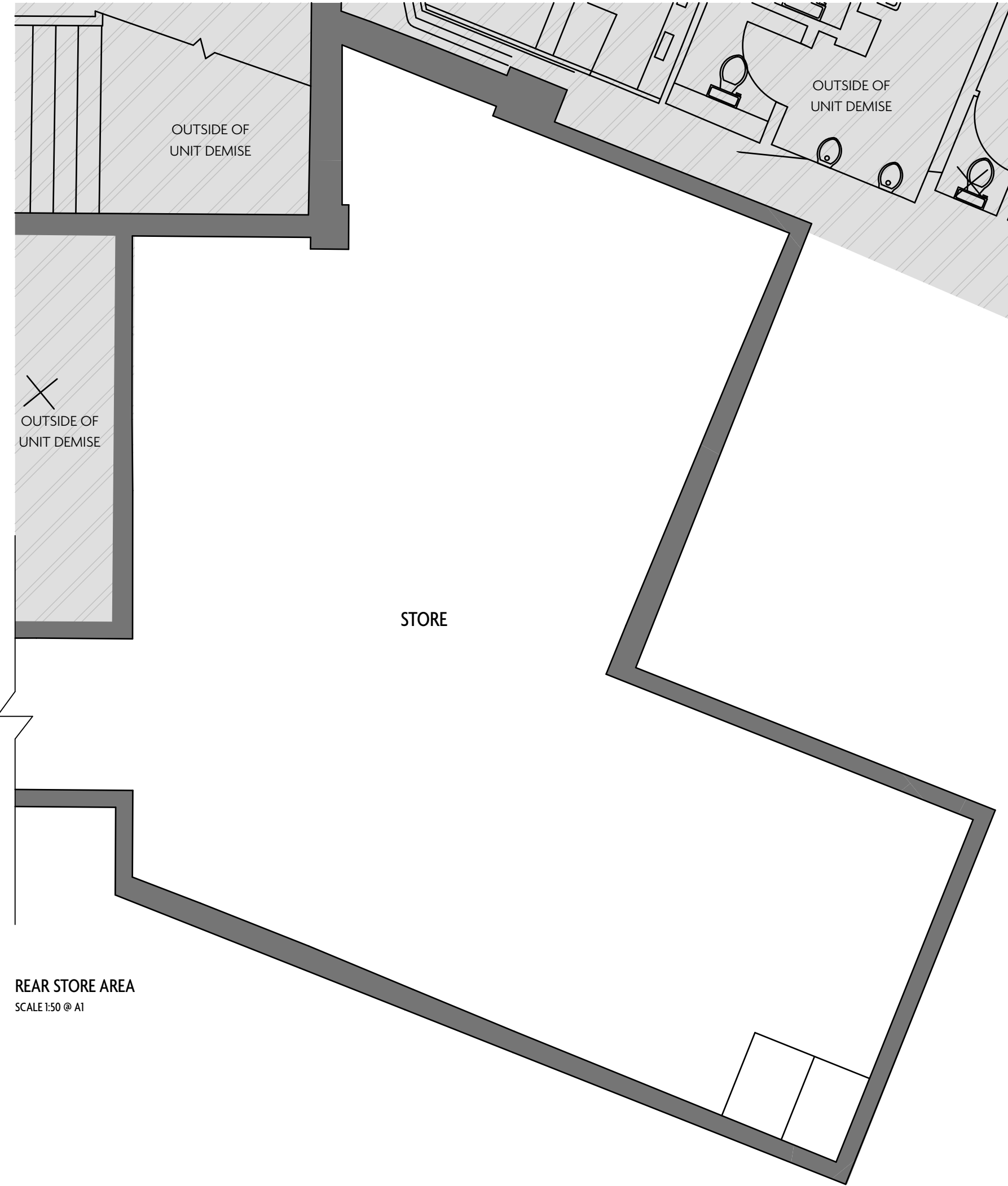
Macaulay Sinclair

PROJECT	Alchemist, Bristol	PROJECT NO.	3700
TITLE	Location Plans	DRAWING NO.	03/03
SCALE	1:1250 and 1:500 at A3		
DATE	28/03/17	DRAWN BY	MP





EXISTING GROUND FLOOR GA
SCALE 1:50 @ A1



REAR STORE AREA
SCALE 1:50 @ A1

GENERAL NOTES:	
DO NOT SCALE FROM DRAWING. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL TAKE THEIR OWN DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURATE ADJUSTMENT OF ANY FITTING TOGETHER OF VARIOUS PARTS. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT BRITISH STANDARDS, B.S. CODES OF PRACTICE AND BUILDING REGULATIONS. CONSTRUCTION DRAWINGS TO BE SUPPLIED BY MAIN CONTRACTOR TO BE APPROVED BY MACAULAY SINCLAIR PRIOR TO FABRICATION	
TOTAL GIA	7365 SQFT / 684.23M2
GROUND FLOOR	3405 SQFT / 316.34M2
FIRST FLOOR	3960 SQFT / 367.89M2

NOTES

REV DATE REASON

REV DATE REASON

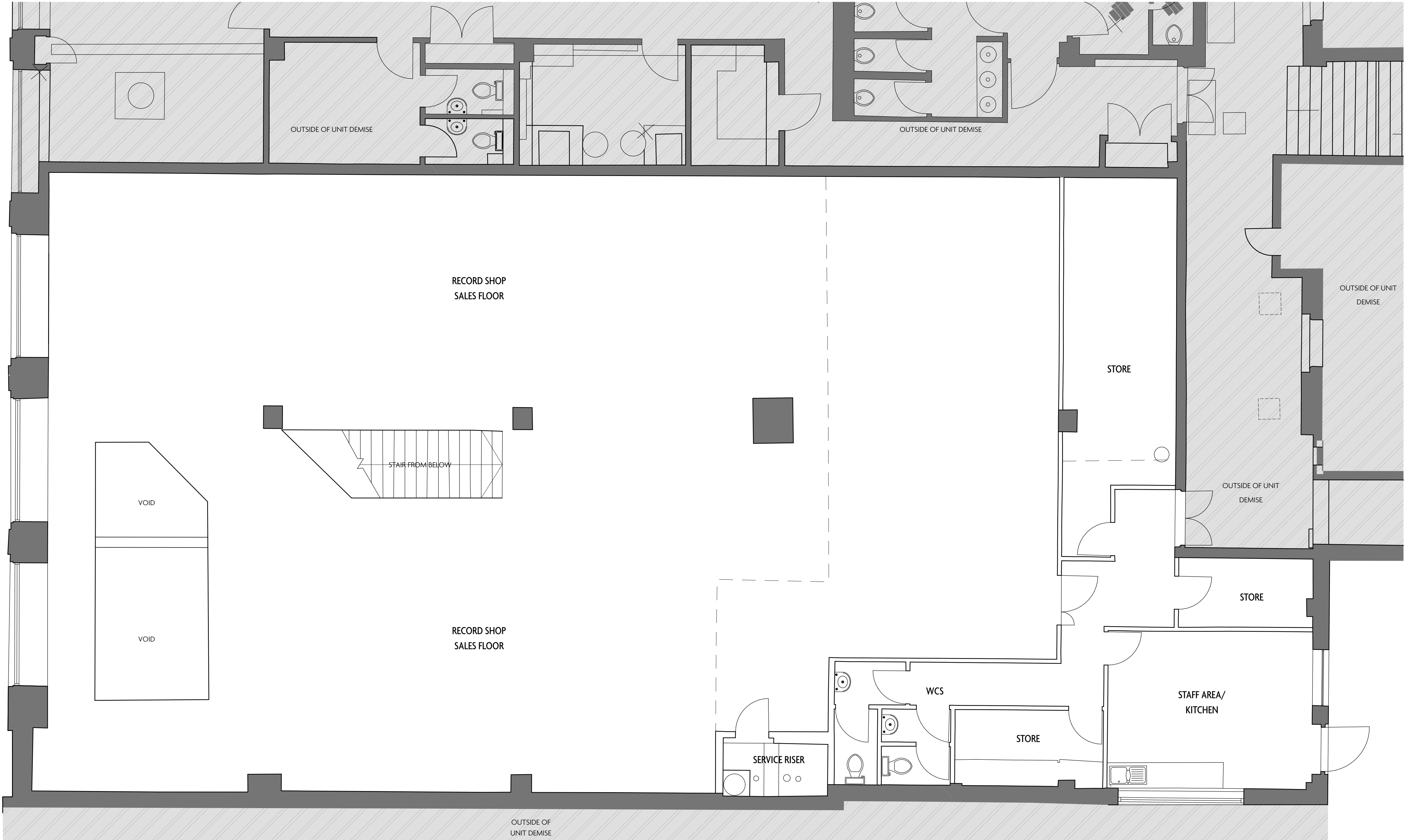
Macaulay
Sinclair

PROJECT Alchemist, Bristol
TITLE Ground Floor GA - Survey
SCALE 1:50 at A1 / 1:100 at A3
DATE 24/03/17

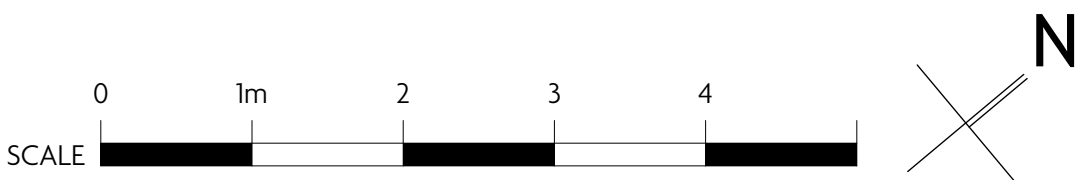
DRAWN BY MP

PROJECT NO. 3700
DRAWING NO. 01/01

GENERAL NOTES: DO NOT SCALE FROM DRAWING. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL TAKE THEIR OWN DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURATE ADJUSTMENT OF ANY FITTING TOGETHER OF VARIOUS PARTS. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT BRITISH STANDARDS, B.S. CODES OF PRACTICE AND BUILDING REGULATIONS. CONSTRUCTION DRAWINGS TO BE SUPPLIED BY MAIN CONTRACTOR TO BE APPROVED BY MACAULAY SINCLAIR PRIOR TO FABRICATION	
TOTAL GIA	7365 SQFT / 684.23M2
GROUND FLOOR	3405 SQFT / 316.34M2
FIRST FLOOR	3960 SQFT / 367.89M2



EXISTING FIRST FLOOR GA
SCALE 1:50 @ A1



NOTES

REV DATE REASON

REV DATE REASON

Macaulay
Sinclair

PROJECT Alchemist, Bristol
TITLE First Floor GA - Survey
SCALE 1:50 at A1 / 1:100 at A3
DATE 24/03/17 DRAWN BY MP

SURVEY
PROJECT NO. 3700
DRAWING NO. 01/02



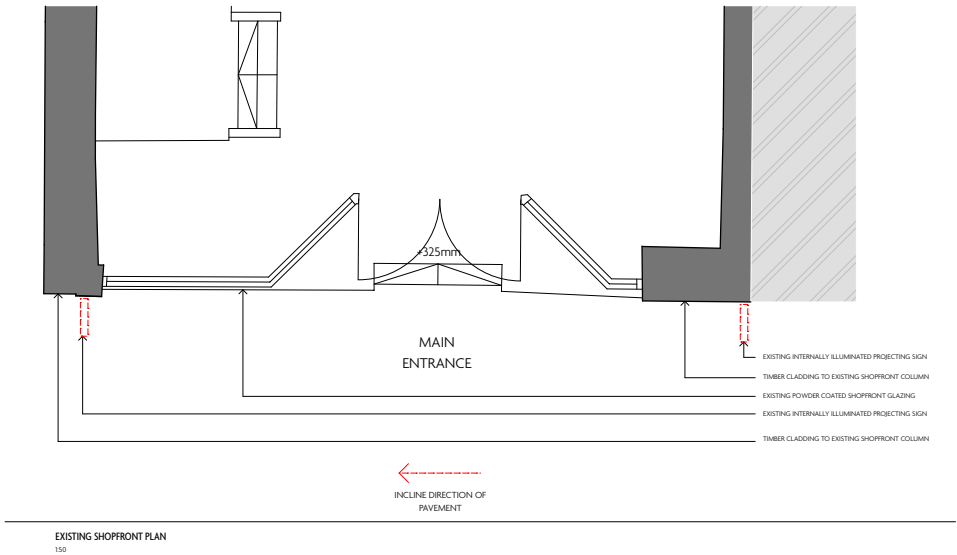
EXISTING SITE PHOTO



EXISTING SITE PHOTO



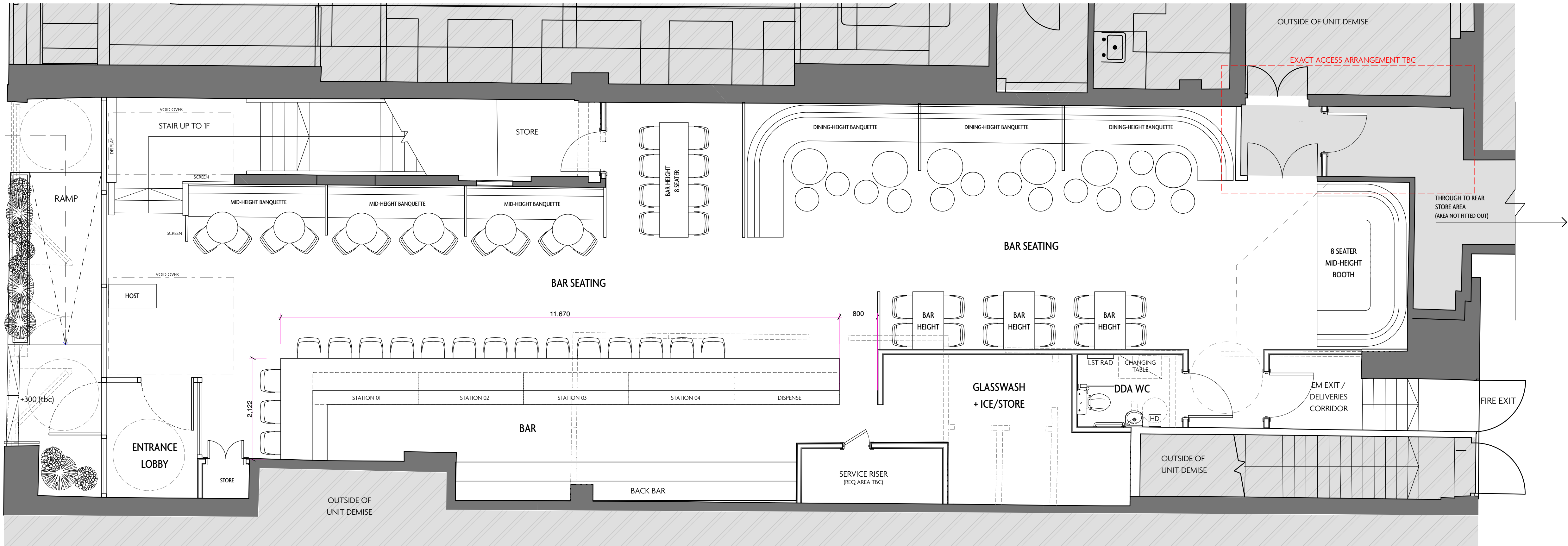
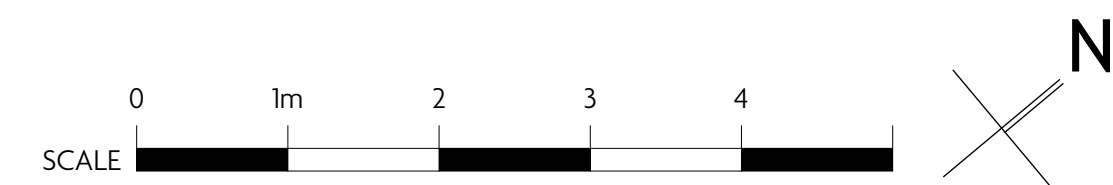
EXISTING SITE PHOTO



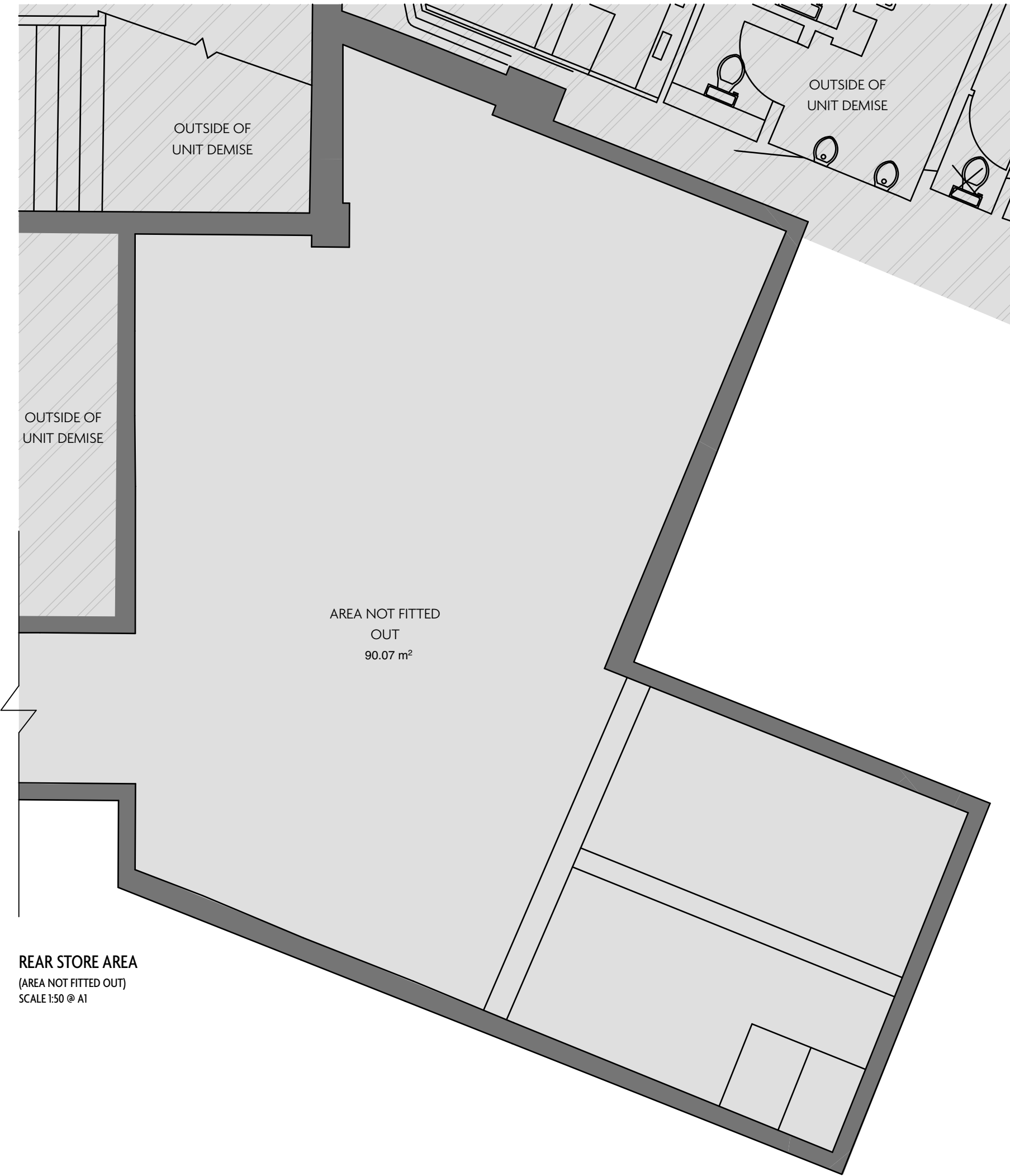
NOTES	REV	DATE	REASON	REV	DATE	REASON

Macaulay
Sinclair

PROJECT	Alchemist, Bristol	PROJECT NO.	3700
TITLE	EXISTING Shopfront	DRAWING NO.	03/06
SCALE	1:50 / 1:25 @A1		
DATE	10/05/17	DRAWN BY	PG



PROPOSED GROUND FLOOR GA
SCALE 1:50 @ A1



GENERAL NOTES: DO NOT SCALE FROM DRAWING. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL TAKE THEIR OWN DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURATE ADJUSTMENT OF ANY FITTING TOGETHER OF VARIOUS PARTS. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE CURRENT BRITISH STANDARDS, B.S. CODES OF PRACTICE AND BUILDING REGULATIONS. CONSTRUCTION DRAWINGS TO BE SUPPLIED BY MAIN CONTRACTOR TO BE APPROVED BY MACAULAY SINCLAIR PRIOR TO FABRICATION.	
(TOTAL GIA FITOUT GIA	7365 SQFT / 684.23M2 5416.58 SQFT / 503.22M2
GROUND FLOOR FIRST FLOOR	2263.4 SQFT / 210.3M2 3533.8 SQFT / 329.94M2
IF DINING SEATED COVERS GF SEATED BAR COVERS	99 81
TOTAL COVERS	180

NOTES

REV	DATE	REASON

REV	DATE	REASON
X	XX/XX/XX	XXX

**Macaulay
Sinclair**

PROJECT	Alchemist, Bristol	PROJECT NO.	3700
TITLE	Ground Floor GA - Planning	DRAWING NO.	03/01
SCALE	1:50 at A1 / 1:100 at A3		
DATE	24/03/17	DRAWN BY	MP

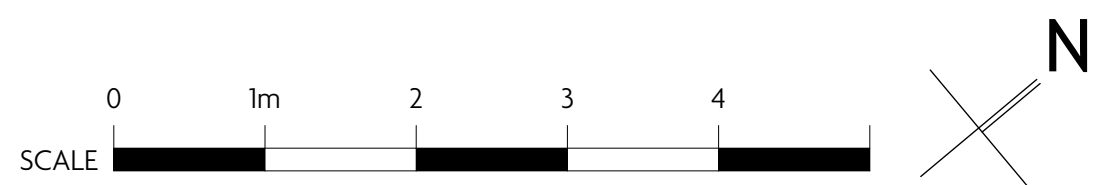
GENERAL NOTES:

DO NOT SCALE FROM DRAWING. ALL DIMENSIONS MUST BE CHECKED AND VERIFIED ON SITE. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL TAKE THEIR OWN DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE ACCURATE ADJUSTMENT OF ALL DIMENSIONS TO THE FIELD. ALL WORK IS TO BE CARIED OUT IN ACCORDANCE WITH THE CURRENT BRITISH STANDARDS, B.S. CODES OF PRACTICE AND BUILDING REGULATIONS. CONSTRUCTION DRAWINGS TO BE SUPPLIED BY MANUFACTURER TO BE APPROVED BY MACAULAY SPINLAR PRIOR TO FABRICATION

TOTAL GIA	7365 SQFT / 684.23M2
FITOUT GIA	5416 SQFT / 503.22M2
GROUND FLOOR	
FIRST FLOOR	
IF DINING SEATED COVERS	99
GF SEATED BAR COVERS	81
TOTAL COVERS	180

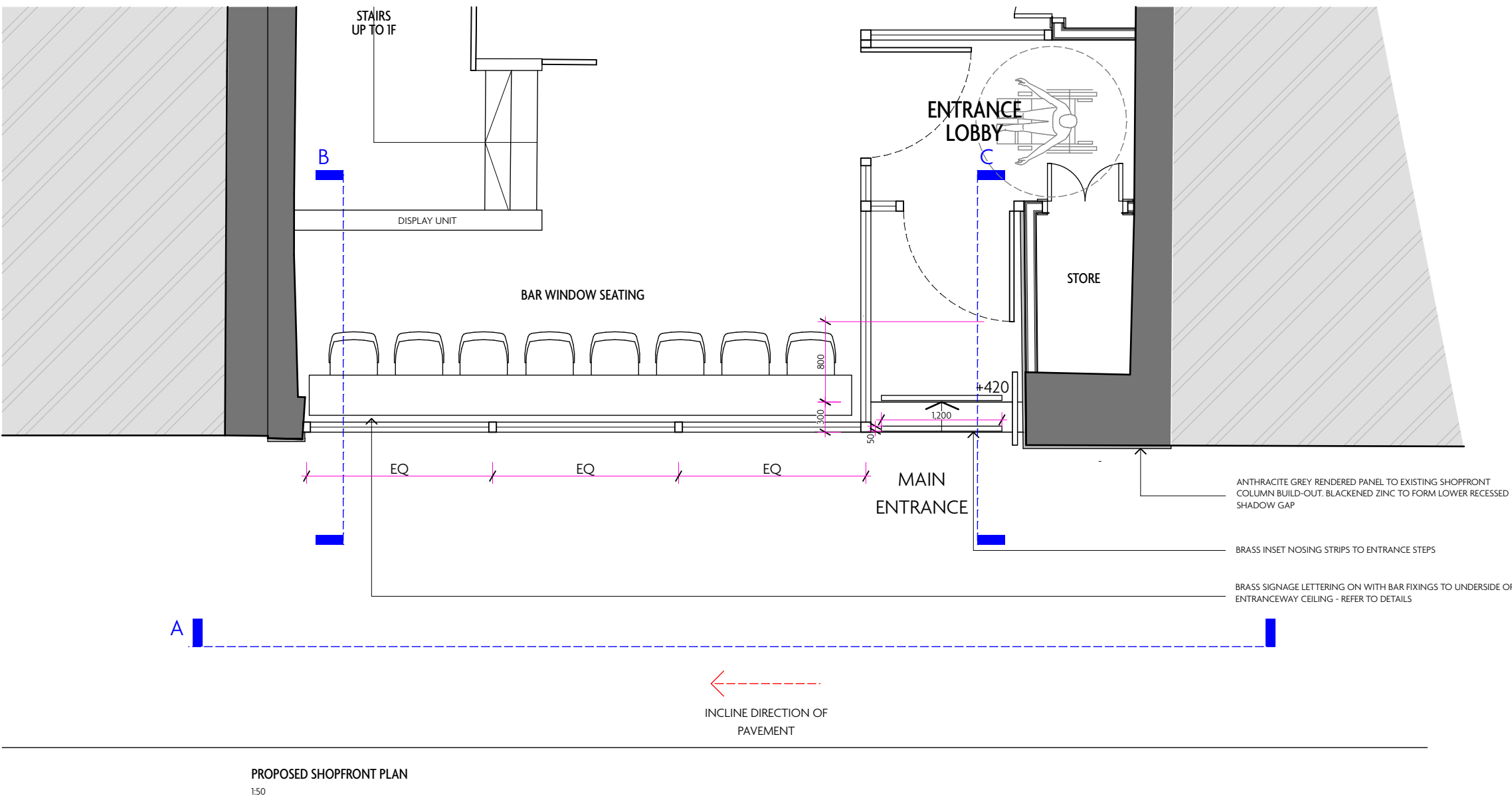


PROPOSED FIRST FLOOR GA
SCALE 1:50 @ A1

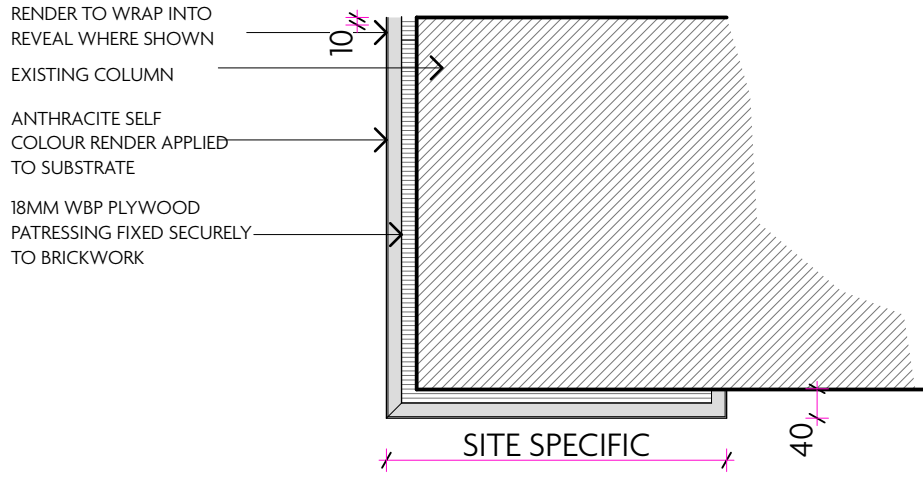
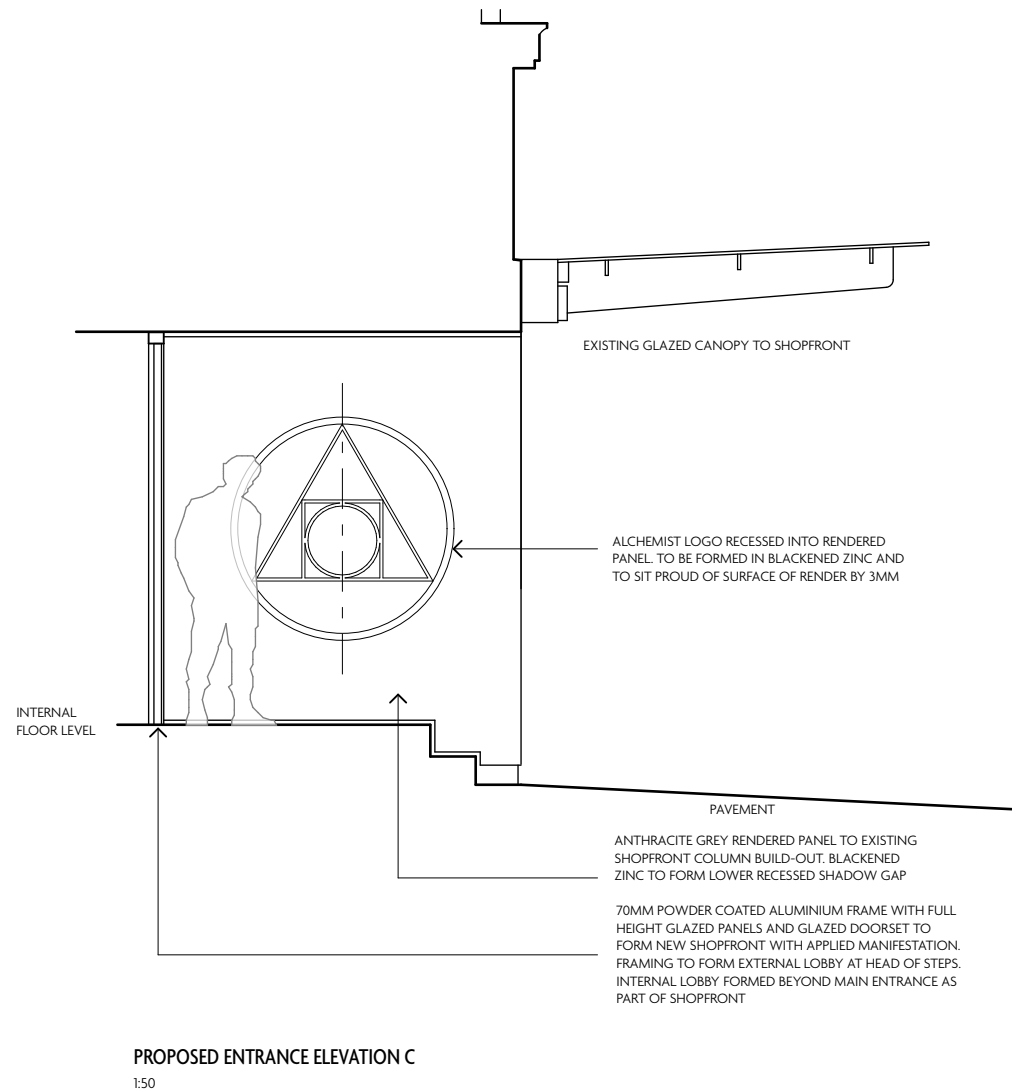
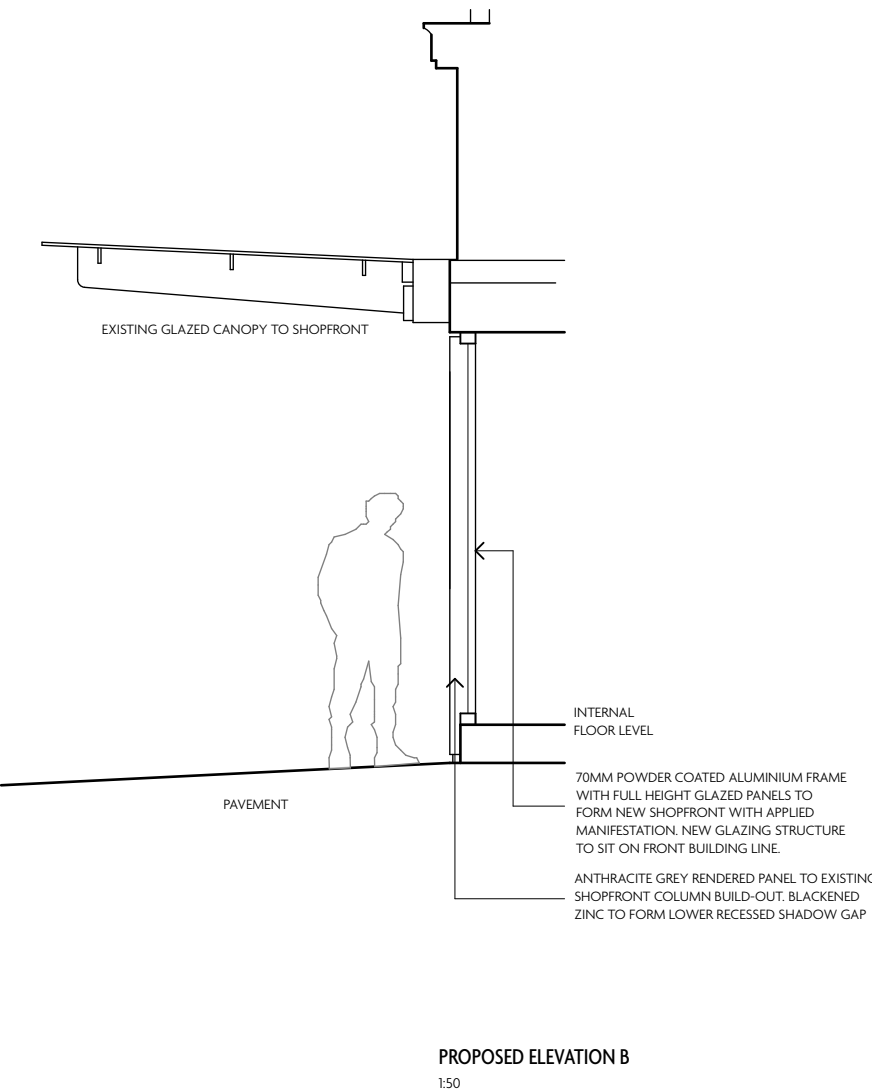


PLANNING

NOTES	REV	DATE	REASON	REV	DATE	REASON	PROJECT	PROJECT NO.
							Alchemist, Bristol	3700
							First Floor GA - Planning	
							SCALE 1:50 at A1 / 1:100 at A3	DRAWING NO.
							DATE 24/03/17	03/02
							DRAWN BY MP	



EXISTING SITE PHOTO
REDLINE DEMARKATION OF UNIT



RENDERED PERIMETER DETAIL
SCALE 1:10 @A1

NOTES

REV	DATE	REASON

REV	DATE	REASON
A	29/08/17	Amendments to shopfront in-line with received comments

Macaulay
Sinclair

PROJECT	Alchemist, Bristol
TITLE	PROPOSED Shopfront Planning
SCALE	1:50 / 1:25 / 1:10 @A1
DATE	10/05/17
DRAWN BY	PG

PLANNING

PROJECT NO.	3700
DRAWING NO.	03/07A

Development Control Committee A – 18 October 2017

ITEM NO. 3

WARD: Clifton Down **CONTACT OFFICER:** David Macfadyen
SITE ADDRESS: Former Dorma Nightclub Clifton Down Station Whiteladies Road Bristol BS8 2PH

APPLICATION NO: 17/03716/F **Full Planning**

DETERMINATION DEADLINE: 15 September 2017

Change of use from a vacant nightclub (Sui generis) to a gym (Class D2) to operate 24 hours a day and installation of compressors and associated external alterations.

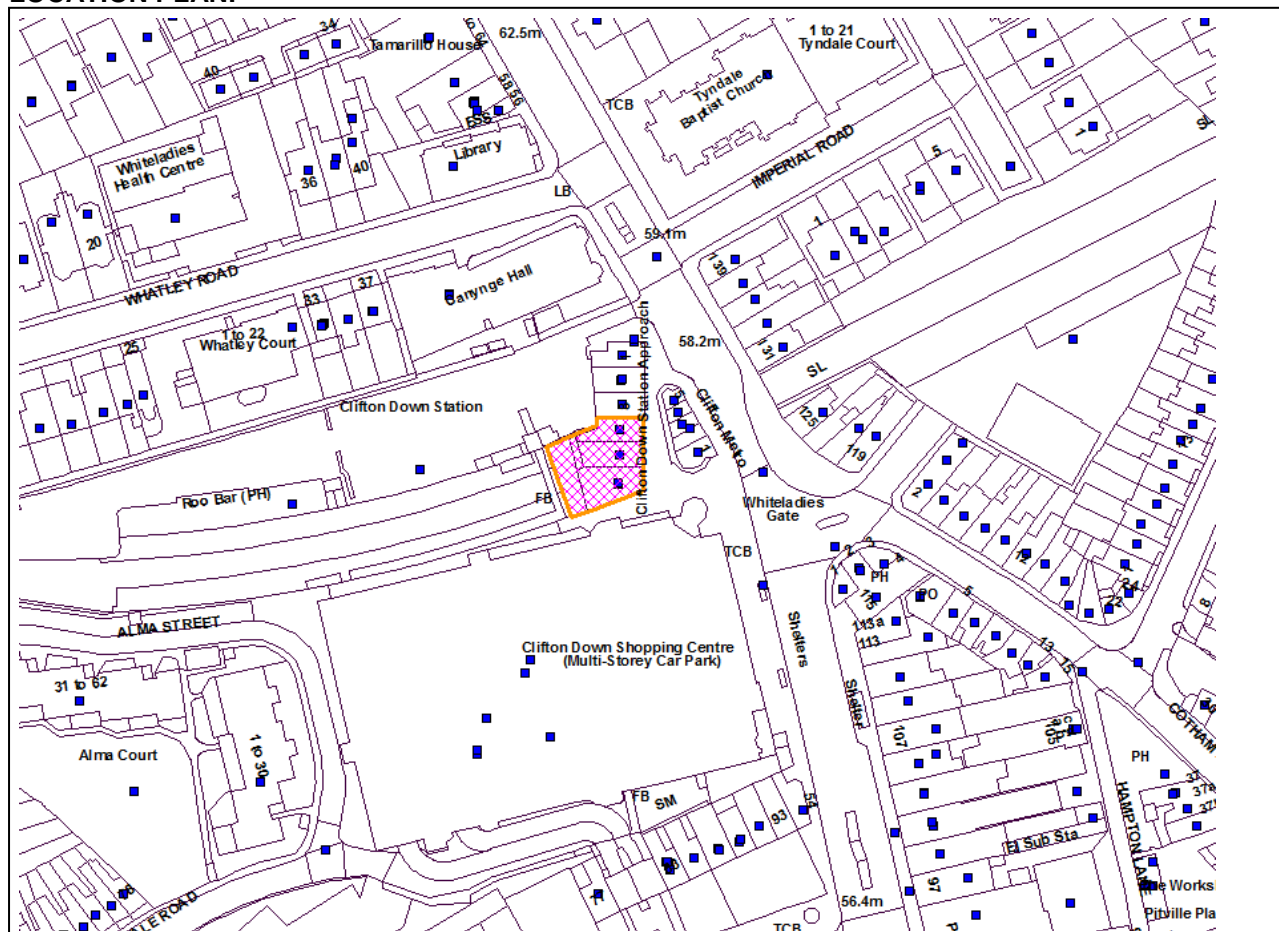
RECOMMENDATION: Grant subject to Condition(s)

AGENT: Pegasus Planning Group
 First Floor South Wing
 Equinox North
 Great Park Road
 Almondsbury
 Bristol
 BS32 4QL

APPLICANT: MSG Life Ltd
 C/o Agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

COUNCILLOR REFERRAL

The application has been referred for determination by Committee by Councillor Carla Denyer Ward Member for the Clifton Down ward.

In referring the application, Councillor Denyer did not raise an objection to the principle of the proposed change of use, however wished *“for the committee to consider adding conditions around opening hours and/or hours that music is played or classes take place.”*

Councillor Denyer’s concerns are specifically raised in relation to the following issues:

“The issue of noise reverberation down the railway line has not been addressed in the noise assessment at all, even though I raised this over a month ago. If it turns out that it would be negligible for the volumes of music played at the gym, fine. But the fact that it has not been modelled at all gives the cause for concern, given that it’s a known effect that residents have witnessed, which channels noise a significant distance from the site, to a lot of noise-sensitive residential properties on Hampton Park.”

“Night-time/early morning vehicle movements have not been addressed in the noise assessment. I draw your attention to 16/05085/X: Bannatyne’s were refused permission to open just 30 minutes earlier (a change from 7am to 6:30am opening) to protect local residents’ sleep. Note that Bannatyne’s gym is, like the proposed Snap Fitness site, located close to a train station and bus stops, yet many existing customers drive to the gym, presumably because they visit it on the way to or from work, which they drive to. Without a designated car park that is open at night, people using Snap Fitness gym at those times would probably park either in surrounding streets or in the University car park behind Whatley Rd. This would cause unacceptable disturbance at night and in the early morning, with drivers parking, slamming doors, revving, using car radios and alarms etc. while parallel parked right outside people’s homes.”

SUMMARY

The application seeks planning permission for change of use of a nightclub to a gym, including a revised entrance and installation of air conditioning, ventilation and extraction plant. The site is a first floor commercial unit situated in a wider building containing a mix of shops, restaurants and other commercial uses. The site is situated within Whiteladies Road town centre and forms part of the primary shopping area. Clifton Down Shopping Centre is situated adjacent to the south of the site and Clifton Down Railway Station is situated directly beneath the site. The gym would be open 24 hours, 7 days per week. A number of objections (full details beneath) have been raised following public consultation in relation to the proposed development. These were predominantly in relation to the potential for neighbouring occupiers to experience noise and disturbance resulting from the change of use. Concerns specifically relate to the potential for noise from plant, music and activity associated with the proposed gym as well as customers arriving and departing the site. The applicant has supplied a noise assessment and site management plan for the proposed use which seek to address the concerns raised. The Council’s Pollution Control team have reviewed the noise assessment and agreed with the findings of the assessment, which demonstrates that noise levels experienced at residential properties would be no higher than existing levels. Associated noise and disturbance as a result of customers arriving and departing the site, including parking on surrounding streets has also been considered, however given the foreseen customer levels overnight and existing context (nightclub), it is not found that this would result in harm to residential amenity or living conditions. The proposal would offer a number of benefits namely with regard to crime reduction

Development Control Committee A – 18 October 2017**Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH**

(in comparison to the existing nightclub use), public health and the vitality and diversity of the town centre. Overall, it is concluded that subject to safeguarding conditions, the proposed change of use would be in accordance with all relevant national and local planning policy, with no other material consideration which would warrant refusal. On this basis, the application is recommended to Members for approval.

SITE DESCRIPTION

The site is situated to the western side of Whiteladies Road, Clifton and relates to a first floor unit within a two storey mixed use building located above Clifton Down Railway Station. The unit is presently vacant with the last use being as a nightclub (Sui Generis). The building contains x6 commercial units at ground floor level, each with separate shopfront and fascia signage above. At first floor level, the building comprises two larger units, the former nightclub to the south and a restaurant to the north.

The building dates from the second half the 20th century, has a flat roof and rectilinear form with predominantly glazed frontage to Whiteladies Road which is divided at first floor level by cantilevered vertical piers. Clifton Down Shopping Centre is adjacent to the south, with a single storey satellite building known as Clifton Down Metro separating the building from Whiteladies Road to the east. The Severn Beach railway line runs east to west beneath the site.

The site is located within a designated town centre (Whiteladies Road) and forms part of the primary shopping area as designated by Core Strategy Policy BCS7 (Centres and Retailing) and Site Allocations and Development Management Policies Local Plan Policy DM8 (Shopping Areas & Frontages). The site is also situated within the Whiteladies Road Conservation Area.

PLANNING HISTORY

Application ref:	Proposal:	Decision:
02/01105/F	Alterations to fenestration at first floor level	GRANTED - 22.05.2002
07/01959/F	Construction of VIP suite/chill out suite on the existing flat roof	WITHDRAWN - 03.10.2007
08/03922/F	Installation of replacement canopy	GRANTED - 05.11.2008
08/05028/F	Erection of second storey extension to form smoking room	REFUSED - 02.03.2009
12/03199/A	Installation of new signage to comprise 1 no. internally lit light box, 3 no. externally, halo-lit fascia signs on the front elevation, and opaque vinyl window logos to be affixed to inside the windows	CANCELLED - 11.03.2013
12/03205/F	External alterations as part of the refurbishment of premises	CANCELLED - 11.03.2013
12/03933/F	The creation of a smoking refuge on the flat roof above the first floor Restaurant and Nightclub	REFUSED - 12.11.2012

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

15/01121/F	Proposed conversion of the nightclub on the first floor and erection of second floor extension to provide 14 No. 1,2 & 3-bedroom residential units (Use Class C3); new entrance to residential and commercial floorspace; changes to the appearance of the existing ground floor retail units; refuse/recycling and cycle space provision and associated works.	APPROVED - 02.10.2015
17/04234/A	Proposed display of x2 halo illuminated signs to southern and eastern elevations of the building in addition to vinyl sign applied to glazed entrance door	GRANTED - 21.09.2017

APPLICATION

The application seeks planning permission for the proposed change of use of the southern first floor unit from a nightclub (Sui Generis) to a gym (planning use class D2). The application includes external alterations comprising replacement of x4 existing air conditioning compressor units with x3 air conditioning compressor units as well as installation of revised customer entrance.

The main customer entrance would be at ground floor level within the southern side elevation of the building. The existing door in this location would be replaced with an aluminium framed glazed equivalent with windows to either side. A staircase leads to first floor level where a reception desk, fitness areas with a variety of exercise machinery, changing, showers and toilet facilities are proposed. The gym would be open 24 hours a day. The gym would employ x4 full time and x9 part time members of staff.

x3 air conditioning compressors are proposed to the north facing rear elevation of the building, along with x3 louvre panels and x2 extract vents. This plant is required to regulate and ventilate the gym, changing facilities and shower areas.

COMMUNITY INVOLVEMENT

The proposed development is classed as 'Minor' development, therefore there is no requirement for the Applicant to demonstrate community engagement prior to submitting the application.

EQUALITIES ASSESSMENT

During the determination of this application due regard has been given to the impact of this scheme in relation to the Equalities Act 2010 in terms of its impact upon key equalities protected characteristics. These characteristics are age, disability, gender reassignment, marriage and civil partnership, pregnancy and maternity, race, religion or belief, sex and sexual orientation. There is no indication or evidence (including from consultation with relevant groups) that different groups have or would have different needs, experiences, issues and priorities in relation this particular proposed development. Overall, it is considered that the refusal of this application would not have any significant adverse impact upon different groups or implications for the Equalities Act 2010.

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

RESPONSE TO PUBLICITY AND CONSULTATION

7 neighbouring properties were originally directly consulted in relation to the application. A site notice and press advert were also published, along with the application being listed on the planning section of the Council website.

The deadline for comments was 7th August 2017.

9 objections were received following consultation. The content of these is summarised as follows:

Proposed opening hours are ridiculous

Increased noise and disturbance to neighbouring occupiers in comparison to the existing use

Contested nature of the site as a town centre

No mention of surrendering the alcohol license

Concerns with regard to disabled access

Potential for outsourcing of classes to freelancers, who may provide their own sound equipment

Public transport access generally ends around midnight and nearby public car parks close at similar times so parking on street is likely which may result in noise and disturbance to surrounding residential properties during the night through car doors slamming, car audio systems, alarms etc.

The noise assessment should be made from Caffè Gusto opposite the site

Windows should be sealed rather than simply closed

Concerns with regard to noise travelling along the railway line to adjacent residential properties further from the site

Noise and disturbance to neighbouring occupiers from waste collection

No requirement for this kind of business in addition to the many gym and fitness class businesses operating in the area, all within a reasonable walking distance from Clifton Down Shopping Centre

Additional parking pressure and traffic congestion

Subsequent to the original consultation period, additional information including a Noise Assessment and Site Management Plan were supplied by the applicant. An additional public consultation period was therefore held following receipt and publication of these documents.

This comprised letters being sent notifying direct neighbours and contributors to the original consultation period. The deadline for responses was 14th September 2017.

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

4 objections were received following this second consultation period. These were all from contributors to the original consultation period. The content of further objections is summarised as follows:

Classes starting at 6:15am would result in sleep deprivation via noise pollution

Noise from cars parking in surrounding roads and the University car park would disturb and harm the living conditions of surrounding occupiers

General noise and disturbance to neighbouring occupiers and resultant harm to living conditions and quality of life

The alcohol license should be forfeited

No staff on site to implement noise policy

Protection required against noise breakout from the building and funnelling down the railway line

The noise assessment should provide details concluding noise is inaudible at the adjacent Caffè Gusto

A similar local health club was refused permission for extension of opening hours on the basis of harm which would result to neighbouring living conditions and amenity

The management plan should be more clear in relation to the wording of no alcohol will be served on site, also including sold or consumed

Classes should not be permitted before 8am to facilitate a full 8hrs sleep

AMENITY GROUPS

The Hampton Park & Cotham Hill Community Group has commented as follows:

I have requests and comments please:-

1) Have you ascertained that the applicant will not require scaffolding to touch any part of the property belonging to Network Rail (BR)?

This was the ONLY reason why the plan to build flats on this site was abandoned by the same applicant as Network Rail refused to grant permission. Were such scaffolding eventually required for the current application and consequently applied for and accepted I am sure that this would cause a major public outcry.

Can you assure me at this stage that such scaffolding will neither be requested, nor installed!

2) Has the Noise Pollution Officer been asked to assess the very, very likely excessive noise that will undoubtedly be caused both by cars cruising around at night seeking parking spaces returned in the gothic hours and the subsequent noise of car doors slamming and people talking, which at night in the small hours is already an intrusion as students return from Night Clubs 4 out of 7 nights a week during term time!

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Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

3) Whiteladies Road and Clifton Down Centre is NOT a TOWN CENTRE. NB There is a CIA imposed directly opposite along Cotham Hill and Hampton Park - this is predominantly residential!

4) Have the Chief Constable of Avon and Somerset and the Commissioner of the Police been alerted to this application?

I am confident that if this proposal passes the Committee stage there will be an increased need of nocturnal policing of this area.

There is only one sensible decision to make about this application if the Council Officers and Council Officer committees' care about their loyal and long established tax paying, community caring citizens in a 360 degree radius of 1 mile extending from the site and that is not to pass it!

I and my neighbours know that there WILL BE yet more serious noise invasion at night and overcrowding during the day in an area that is already congested and heavily noise inflicted.

I have lived in my house since 1987 and know first-hand just how the commercial invasion and student overcrowding has changed the area. Why have successive Councils allowed this to happen? CIAs and Conservation Area status seem to count for nothing these days.

You can see that we are being forced to seem unreasonable. Many residents have sold up and left - not because they wanted to, but because they have literally been driven out by a council and laws that allow such commercialism to grow!

Why should honest, responsible, respectable residents who support the area be constantly overlooked!

The Redland and Cotham Amenities Society have commented as follows:

RCAS does not oppose this change of use provided that any adverse impact on surrounding residents and businesses from the operation of this gym can be removed. Noise, particularly at night when there is less background noise, could be a significant issue and we ask that good insulation against airborne and impact noise is provided to deal with this.

Restrictions on sound levels of mechanical ventilation systems and music and method statements for dealing with noise incidents are proposed and we ask that the pollution control department confirm that they are happy with those proposals.

Restrictions on times of waste collections are also proposed and we ask that they are conditioned.

There do not appear to be any proposals for dealing with users coming and going during the night, and potentially gathering outside the premises. We ask that the club makes provision for dealing with any noise issues for users congregating outside the doors to the clubs. Car doors slamming and conversations in residential streets in the middle of the night would also cause distress to local residents. We ask that the club management take the lead in ensuring that their members consider the amenity of the neighbours away from the immediate premises when coming and going from the club.

However, with these provisions in place, we do not object to the proposed development.

The detail of signage must be supplied in order that the impact of this signage on the surrounding area and of views in the conservation area can be fully assessed. The proposed

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

signage zones on the front elevation of the building are excessive and could enable large, backlit signs which would negatively impact on the conservation area. We ask that either full details of signage are submitted before the decision is made or that a new advertising application is submitted before the building is occupied.

OTHER COMMENTS**Bristol City Council Transport Development Management (TDM):**

The site is located along Whiteladies Road, a classified A road subject to a 20mph speed limit and utilised as a popular busier cycle route. Clifton Down train station is situated to the frontage of the site along Whiteladies Road, approximately 40m from the nearest bus stop. Buses operate frequent services along Whiteladies Road to Cribbs Causeway and the City Centre amongst other locations. Due to the above reasoning TDM deem the site to be situated in a sustainable location in terms of transport.

The site is situated within the Clifton East residents parking scheme however it is likely users of the gym would utilise parking within the Cotham residents parking scheme and Cotham North residents parking scheme also. All three schemes operate 09:00-17:00 Monday to Friday.

Clifton Down car park opens 07:00- 22:30 daily providing adequate parking for the busy town centre and any future gym users.

The impact of the change of use is not deemed to be of detriment to the local area insofar the trip rates to and from the gym would be of a different composition when compared to the extant peak hour times.

Due to the residents parking schemes operating in the area it is highly likely users of the gym will utilise the parking facilities of the Clifton Down car park during car park opening times. Outside of these operating times it is expected users will likely either park on street or live within the vicinity of the site and travel sustainably by bicycle or walk. It is not expected a high number of users would utilise the gym facilities outside of the opening hours of the car park therefore TDM deem the provision to be acceptable.

The amount of users during these off peak times and the impact this will cause to the surrounding highway network regarding on street car parking will be minimal. In comparison to a nightclub use in which vehicles would be stopped along Whiteladies Road or parked in residential streets in the surrounding area whilst waiting for pickups.

No waste storage has been proposed. Users of the gym will inevitably produce rubbish such as but not limited to paper towels and plastic bottles. The waste storage is likely to be to the rear of the unit so therefore a waste management plan is required.

TDM requires further information regarding the waste storage provision before approval can be recommended.

Bristol City Council Pollution Control Team:

I understand that there are a number of concerns with regards to the potential for noise from this development for change of use to a gym, opening 24/7. There are a number of different noise sources associated with this use and I feel that these have been sufficiently dealt with in the application. I shall try and deal with these as follows:

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Noise from new plant and equipment associated with the gym

This is dealt with in section 4 of the acoustic report. The report gives noise levels for the 3 condensers units and the 2 fan units to be used at the gym and I am satisfied from the information provided that noise levels from this equipment will be suitably below the background noise levels at nearby residential properties and will not be disturbing to local residents. Furthermore, in order to give ongoing protection to local residents, I have asked for a condition requiring that noise from any plant and equipment will be at least 5 dB below the background level at any residential property. From the information provided I am satisfied that this condition can be complied with.

Music noise from the use of the gym

Section 7 of the acoustic report submitted with the application states that the windows to the front of the premises are sealed panes. There are no windows to the rear as windows and as windows will be the weakest acoustic part of the premises I would expect properties opposite the front of the premises to be most likely to be affected by music noise.

Whilst the premises has previously operated as a night club and whilst gyms, will play music, particularly during classes I feel it has to be acknowledged that music levels will be lower and not played at such unsociable times as played in a nightclub. The Management Plan states that classes will only be held between 06.15 and 20.30 on weekdays and in the mornings at weekends. The acoustic report further details that noise levels from the use of the gym at the front of the premises opposite on Whiteladies Road will be considerably lower than noise limits from National Guidance levels for noise from pubs and clubs which take into account the disturbing nature of the bass element of music.

Noise from the gym affecting commercial uses below

The likelihood of both airborne and structure borne noise affecting adjoining commercial premises has been addressed in section 6 of the acoustic report. The report details internal noise levels from a similar gym, details of the current structure between the proposed gym and adjoin commercial uses and gives recommendation for improvements to both the party walls and party floor between the gym and the other uses. These include the provision of gym matting and an additional acoustic layer in free weight areas. I have asked for a condition, detailed below, to give further details of the actual insulation to be installed.

Noise from refuse collections

In order to minimise any disturbance to local residents I have asked for a condition restricting the collection of refuse to 08.00 and 20.00 Monday to Saturdays only.

Noise from 24/7 use

Whilst it is proposed that the gym will open 24/7 it has to be acknowledged that use throughout the night is likely to be minimal. From the figures given in the Management Plan per week a similar gym operating 24/7 has 70 customers using the gym between 23.00 and 05.00 a week, this works out at under 2 an hour. There are also other 24/7 gyms in Bristol which are also near to residential properties and I am not aware of any complaints regarding their use throughout the nights.

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Noise from increased traffic and parking in the area

This has not been looked at in the acoustic report and as this application is not proposing a designated car park I feel it is difficult to show that there will be an increase in noise from cars parking at any particular properties due to the use of the gym, particularly as street parking in this area is already difficult. Disturbance from customers parking is more likely to be an issue at night and from the likely numbers of customers using the gym at night I do not feel it is possible to show any significant impact of noise from customers parking in this area.

I therefore have no objection to this development but would ask for the following conditions should the application be approved:

1. Sound insulation

The use hereby permitted shall not commence until a detailed scheme of noise insulation measures for the partitions between the proposed use and adjoining commercial premises is submitted to, and approved in writing by the Local Planning Authority.

The scheme of noise insulation measures shall take into account the recommendations detailed in the Noise Assessments submitted with the application.

The approved scheme shall be implemented in full prior to the commencement of the use permitted and be permanently maintained.

2. First Floor Windows

Except for routine maintenance or in the event an emergency the windows on the first floor shall remain closed and sealed during the operation of the gym.

3. Noise from plant & equipment affecting residential

The rating level of any noise generated by plant & equipment as part of the development shall be at least 5 dB below the background level as determined by BS4142: 2014 Methods for rating and assessing industrial and commercial sound.

4. Use of Refuse and Recycling facilities

Activities relating to the collection of refuse and recyclables shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

Avon & Somerset Police Crime Reduction Department:

After looking through the Design & Access Statement and speaking to the local Neighbourhood Policing Team I have no concerns regarding this application as the site is located within the Whiteladies Road Town Centre and is easily accessible via a variety of transport modes. The centre serves a large residential population and a number of customers will be able to access the site on foot. In addition, there are bus stops and a train station within easy walking distance. Therefore, this is an appropriate location for a new community facility.

Late night refreshment venues are significant flash points for disorder as often intoxicated members of the public come into contact with each other. In addition, late night refreshment venues tend to encourage persons to stay in an area rather than disperse which again is a

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factor in the levels of crime and disorder. If the premises were to become a 24/7 gym this would mitigate this issue.

RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocation and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2015

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

Planning (Listed Buildings and Conservation Areas) Act 1990

PAN2 (Conservation Area Enhancement Statements – Whiteladies Road Conservation Area) (1993)

KEY ISSUES**(A) ACCEPTABILITY OF CHANGE OF USE**

Paragraph 23 of the National Planning Policy Framework (NPPF) outlines that planning policies should be positive, promote competitive town centre environments and set out policies for the management and growth of centres over the plan period. In drawing up Local Plans, local planning authorities should allocate a range of suitable sites to meet the scale and type of retail, leisure, commercial, office, tourism, cultural, community and residential development needed in town centres. It is important that needs for retail, leisure, office and other main town centre uses are met in full and are not compromised by limited site availability. Local planning authorities should therefore undertake an assessment of the need to expand town centres to ensure a sufficient supply of suitable sites.

Annex 2 (Glossary) of the NPPF defines main town centre uses as including fitness centres, amongst other facilities.

Policy BCS7 of the Bristol Core Strategy outlines that retail development, offices, leisure and entertainment uses, arts, culture and tourism uses will be primarily located within or, where appropriate, adjoining town centres identified within BCS7.

Policy DM7 (Town Centre Uses) of the Site Allocations and Development Management Policies (SADMP) outlines that retail and other main town centre uses should be located within the centres identified on the Policies Map. Main town centre uses are defined in the National Planning Policy Framework as retail development (including warehouse clubs and factory outlet centres); leisure, entertainment facilities and the more intensive sport and recreation uses (including cinemas, restaurants, drive-through restaurants, bars and pubs, night-clubs, casinos, health and fitness centres, indoor bowling centres, and bingo halls); offices; and arts, culture and tourism development (including theatres, museums, galleries and concert halls, hotels and conference facilities).

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Policy DM8 (Shopping Areas & Frontages) of the SADMP outlines that within the primary and secondary retail frontage, development will be expected to maintain or provide active ground floor uses. Specific to the primary shopping area, change of use of shops (Use Class A1) to another use will not be permitted unless the proposed use would:

- i. Make a positive contribution to the vitality, viability and diversity of the Primary Shopping Area and centre; and
- ii. Not fragment any part of the Primary Shopping Area by creating a significant break in the shopping frontage; and
- iii. Not result in a loss of retail floorspace of a scale harmful to the shopping function of the centre; and
- iv. Be compatible with a retail area in that it includes a shopfront with a display function and would be immediately accessible to the public from the street.

In planning policy terms, the site is located within a designated town centre (Whiteladies Road) as well as within a primary shopping area. The application seeks planning permission for change of use of the first floor unit from a nightclub to a gym. The proposed use of the site as a gym represents an appropriate 'main town centre use' as outlined within national and local policy (above). As the existing unit is not within retail use, there would be no loss of retail floor space resulting from the change of use. Therefore, the retail function of the primary shopping area would be unaffected.

Within the Whiteladies Road lower primary shopping area there are existing personal training and martial arts studios on Hampton Lane however it is considered that there is not a comparable dedicated gym. The nearest comparable gym's to the site are either the University of Bristol facility at Tyndall Avenue, other gyms on Queens Road or alternatively at Clifton College, Guthrie Road. The facility to the eastern side, northern end of Whiteladies Road (The Exercise Club) at Blackboy Hill is also noted however this site is more class based with less exercise machinery and also closed at 17:00. These sites are all a significant distance (around 1km) from the site in question. Consequently, the proposed change of use would not result in an over proliferation of a particular use within the primary shopping area or town centre.

The proposal would therefore make a positive contribution to the vitality, viability and diversity of the primary shopping area and centre especially when considering the unit is currently vacant and the anti-social issues raised by the previous use of the premises. On the basis of the above factors, the principle of the proposed change of use is deemed acceptable in principle land use terms subject to the satisfactory resolution of all other issues as set out in the key issues below.

(B) NEIGHBOURING AMENITY, LIVING CONDITIONS & NOISE POLLUTION

Section 17 of the NPPF outlines 12 'core planning principles' which should underpin both plan-making and decision-taking. One of these principles is that decision making should always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings.

Policy BCS21 (Quality Urban Design) of the Core Strategy outlines that all new development within Bristol will be expected to strive to achieve high standards of urban design. With regards to amenity it is outlined, that new development is expected to safeguard the amenity of existing development.

Policy BCS23 (Pollution) of the Core Strategy outlines that development should be sited and designed in a way as to avoid adversely impacting upon environmental amenity or biodiversity

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of the surrounding area by reason of fumes, dust, noise, vibration, smell, light or other forms of air, land, water pollution, or creating exposure to contaminated land. Further to this, in locating and designing development, account should also be taken of the impact of existing sources of noise or other pollution on the new development and the impact of the new development on the viability of existing uses by reason of its sensitivity to noise or other pollution.

Policy DM35 (Noise Mitigation) of the SADMP outlines that development which would have an unacceptable impact on environmental amenity or biodiversity by reason of noise will be expected to provide an appropriate scheme of mitigation. In assessing such a scheme of mitigation, account will be taken of:

- i. The location, design and layout of the proposed development; and
- ii. Existing levels of background noise; and
- iii. Measures to reduce or contain generated noise; and
- iv. Hours of operation and servicing.

Development will not be permitted if mitigation cannot be provided to an appropriate standard with an acceptable design, particularly in proximity to sensitive existing uses or sites.

The proposed development involves no physical enlargement of the existing building and no additional windows are proposed which would result in any additional overshadowing, loss of light, or overlooking of neighbouring properties over and above the existing situation.

Any potential for impact to neighbouring living conditions and amenity would likely result from the proposed change of use and thus the difference in operational characteristics of the premises. The assessment of the impact of the proposed use must be viewed within the context of the existing established use of the site which is as a nightclub. Although the nightclub has been closed during recent years, this remains the established existing planning use of the site. Whilst operational, the nightclub was a licensed premise which played amplified music and was open until 4am. It is understood that this use attracted complaints locally on the basis of noise, disruption and disturbance to neighbouring occupiers as well as instances of anti-social behaviour as noted by the police.

The site itself and as set out above is situated on Whiteladies Road which is a designated town centre and predominantly comprises commercial uses at ground floor levels and storage or residential accommodation at upper floor levels. However, the side streets leading off Whiteladies Road are predominantly residential in character and therefore more sensitive to noise pollution. The closest residential properties to the site are flats above the commercial ground floor uses to the opposite side of Whiteladies Road (No's 119-139). These properties are at minimum 35m distance from the site. It is recognised there are also residential properties to the north of the site situated to the southern side of Whatley Road. The closest residential property in this orientation is 37 Whatley Road (x4 flats) which is separated by a minimum distance of 55m from the site. 1 Imperial Road is a minimum distance of 70m from the site and 1 Hampton Park is a minimum distance of 120m from the site however both streets are separated by buildings situated to the eastern side of Whiteladies Road/Cotham Hill.

It is acknowledged that the proposed use of the site as a gym would result in opening hours (24hrs) greater than those previously operated by the nightclub. There is also a variety of noise sources generated such a use of differing characteristics to those created by the nightclub (such as lifting of weights etc.). As such, the applicant has completed and submitted a Noise Assessment in relation to the proposed use.

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Noise from Plant and Equipment

Section 4 of the submitted Noise Assessment is in relation to noise which would result from proposed plant and equipment associated with the use of the gym. The report outlines noise levels for the proposed 3 compressor units and the 2 fan units which are necessitated by air conditioning, ventilation and extraction systems. From the information provided, it can be confirmed that noise levels generated by this equipment will be suitably below the background noise levels experienced at the nearest residential properties. The nearest residential properties are those highlighted above on the opposite eastern side of Whiteladies Road. Absolute levels are used in this case rather than levels relative to the existing climate in this case as this is a worst case scenario typically used where noise climates are low. The information has been reviewed and confirmed as acceptable by the Council's Pollution Control Team subject to a condition requiring noise from any plant and equipment to be at least 5 dB below the background level at all residential properties to ensure this level is maintained in perpetuity. On the basis of the information supplied, the Pollution Control Team is satisfied this will be achieved and the condition will safeguard this.

Noise Emanating from within the Gym

Section 7 of the Noise Assessment is in relation to noise which would emanate (such as music or activity) from within the gym. It is highlighted that the windows to the front of the unit are sealed panes and are non-opening and there are no further windows within the building. Windows are highlighted to be the weakest acoustic part of the premises. Therefore properties opposite the front of the premises would hold the most potential to be affected by noise emissions from within the gym. As such these windows have been conditioned to remain sealed and un-opening in perpetuity of the gym use.

The submitted acoustic report details that noise levels at the front of the premises opposite on Whiteladies Road from the use of the gym will be considerably lower than noise limits from National Guidance levels for noise which take into account the disturbing nature of the bass element of music. It is also concluded that any music played within the gym is likely to be at much lower levels than would be played within a nightclub, particularly overnight. The applicant has supplied a Site Management Plan which sets out the operation and management of the premises including the use of music. The plan states that classes, where music may be higher than general background audio comparable to that found at cafes/restaurants/bars, will be limited to between 06.15 and 20.30 on weekdays and mornings at weekends and thus avoiding more sensitive times. At other times background music will be played at appropriate levels. The Site Management Plan is conditioned as set out below to ensure the operation of the gym is in full accordance with the management and operational details provided.

The aforementioned condition with regard to noise from any plant and equipment to be at least 5 dB below the background level at all residential properties will apply to internal music also. As above, on the basis of the information supplied within the Noise Assessment, the Pollution Control Team is satisfied this will be achieved and the recommended conditions would safeguard this.

Air and Structure Borne Noise

The likelihood of both airborne and structure borne noise affecting adjoining commercial premises has been addressed at section 6 of the Noise Assessment. The report details internal noise levels from a similar gym, details of the current structure between the proposed gym and adjoin commercial uses and gives recommendation for improvements to both the party walls and party floor between the gym and the other uses. These include the provision of gym matting and an additional acoustic layer in free weight areas. Details of the exact specification insulation

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to be installed have been requested by the Council's Pollution Control Team and are conditioned accordingly below.

Although the gym would be open 24 hours, it is likely that its use would be significantly lower overnight. This is in comparison to both day time usage and in comparison to the existing use as a nightclub. The applicant has supplied statistics for a gym operated by the same company at Abbey Wood Retail Park, Filton. These figures show that on average 70 customers per week use the gym between the hours of 23.00 and 05.00. This would be under 2 customers per hour. It is accepted that use of the site in question may be higher due to the more populated location however it is accepted that use overnight is likely to be relatively minimal. Furthermore, this must be viewed within the context of the existing use of the site as a nightclub. The nightclub would likely attract peak levels of customers following closure of nearby bars or pubs between 23:00-00:00. The proposed gym would be less likely to experience such peaks in overnight attendance. As the gym would have no designated closing time, this would avoid a large concentration of customers departing the site at a given point. It is noted that there are also other gyms in Bristol which operate 24 hours in close proximity of residential accommodation without attracting complaint from residents. PureGym who have sites in close proximity of residential accommodation at Cabot Circus and at Lawrence Hill as well as Anytime Fitness on Queens Road are noted as examples.

The factors above with regard to foreseen customer levels, attendance patterns and the existing use as a nightclub should be given when considering the impact of customers arriving and departing the site. Concerns have been raised through public consultation in relation to this aspect of noise and disturbance. Specifically concerns are raised with regard to car doors shutting, engine noise and car stereos. It is highlighted that wide spread on street parking exists at present within the local area. The potential for cars navigating local streets and parking during the night is not a new introduction to the area and would not solely result from the proposed development. As highlighted above, levels of customers visiting the site during the night are likely to be low. Furthermore, reaching the site by car will only make up a certain percentage of the low number of customers visiting overnight. Any excessive or disturbing noise created by such customers is likely to be minimal and irregular. This must be considered against the characteristics of the existing use of the site as a nightclub which would create more regularly and concentrated noise pollution. The existing use would likely attract a high numbers of customers overnight with an increased propensity for noise generation resulting from the consumption of alcohol. Within this context, it is not found that customers arriving and departing the site by car would result in unacceptable impact on environmental amenity.

Concerns have also been raised through public consultation in relation to the potential for noise to travel further afield as a result of the railway line which runs beneath the site east to west. It is recognised that a number of residential properties back onto the railway line at Whatley Road and Alma Street to the west and Imperial Road, Cotham Hill and Hampton Park to the east. This was recognised to be an issue with the existing use of the site as a nightclub. As highlighted above, the volume and bass levels of music associated use of the site as a nightclub would be much higher than those for the proposed gym. The supplied noise assessment demonstrates that noise levels experienced at nearest properties (35m from the site) will be suitably below the existing background noise levels. The properties backing onto the railway line are a minimum of 70m from the site. Over this increased distance noise would have more than sufficient distance to dissipate and would be below existing background noise levels at these properties also. The condition noted above requiring noise from any plant and equipment associated with the proposed use to be at least 5 dB below the background level at all residential properties will safeguard this.

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To restrict the potential for disturbance to neighbouring occupiers as a result of waste collection and disposal, a condition is added limiting the collection of refuse to 08.00 and 20.00 Monday to Saturdays only.

As set out above, the applicant has supplied a Site Management Plan which will outline a series of measures to ensure operation of the site is respectful of neighbouring occupiers. This will include measures such as proposed audio limits and hours, a complaints procedure, a warnings procedure for members, terms and conditions of members contracts, sign posting around the premises reminding members to be respectful of neighbours, details of access and security measures, confirmation that no alcohol will be served, sold or consumed on site, confirmation that windows will remain sealed/non opening at all times unless in case of emergency. The content of the Site Management Plan is secured via condition as detailed beneath.

Subject to the conditions noted in the preceding assessment, it is found that the proposed change of use would maintain acceptable living conditions and amenity at neighbouring properties and the proposed change of use would comply with all relevant planning policy in this regard, with no material consideration relating to noise and disturbance which would reasonably warrant refusal of permission.

(C) TRANSPORT & HIGHWAYS

Section 4 of the NPPF outlines that transport policies have an important role to play in facilitating sustainable development but also in contributing to wider sustainability and health objectives. Smarter use of technologies can reduce the need to travel. The transport system needs to be balanced in favour of sustainable transport modes, giving people a real choice about how they travel. However, the Government recognises that different policies and measures will be required in different communities and opportunities to maximise sustainable transport solutions will vary from urban to rural areas.

Policy BCS10 (Transport and Access Improvements) of the Core Strategy states that developments should be designed and located to ensure the provision of safe streets and reduce as far as possible the negative impacts of vehicles such as excessive volumes, fumes and noise. Proposals should create places and streets where traffic and other activities are integrated and where buildings, spaces and the needs of people shape the area. Proposals will be determined and schemes will be designed to reflect the following transport user priorities as set out in the Joint Local Transport Plan:

- a. The pedestrian;
- b. The cyclist;
- c. Public transport;
- d. Access for commercial vehicles;
- e. Short stay visitors by car;
- f. The private car.

Policy DM23 (Transport Development Management) of the SADMP outlines that new development should not give rise to unacceptable traffic conditions and will be expected to provide safe access to the highway network. The policy also outlines that new development should be accessible by sustainable transport methods such as walking, cycling and public transport. Furthermore, the policy sets standards for parking provision which can be found at Appendix 2. Car parking standards are maximum provisions and cycle parking standards are minimum provisions.

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The site is located within a designated town centre, on a main route to and from the city centre and therefore benefits from good accessibility via a range of transport modes. The site is located within a short walk of a large residential population. There are also a number of Sheffield stands situated within the public realm adjacent to the site which are suitable for short term visitor cycle parking. The site also approximately 15-30m from bus stops which are served by a number of high frequency services to a wide range of destinations within the city. It is highlighted that most of these run until approximately midnight, however certain services run later (Route 4 last departure from city centre at 2am). The site is also well situated for access via rail with Clifton Down Station situated directly beneath the site. Consequently, the site is accessible by a wide range of sustainable, active and low carbon transport modes.

With regard to car parking, it is noted that car parking standards are maximum provisions. The proposed change of use could accommodate a maximum car parking provision of 19 visitor car parking spaces in line with the standard set out at Appendix 2 of the SADMP. In this case, the site has no designated car parking provision. It is noted however there is a variety of publicly available car parking in the local area with the Clifton Down Shopping Centre car park being the largest, open from 07:00 to 22:30. Unrestricted car parking is available at various points on Whiteladies Road and on other streets locally generally from 17:00 to 09:00. This would therefore accommodate car parking after 22:30 when Clifton Down Shopping Centre is closed. There is also privately managed pay and display car parking at Clifton Down Station. Given the good access to the site by a large population on foot or bicycle and the public transport options noted above, it is concluded that the car parking provision is acceptable in this instance.

Refuse and Recycling storage is proposed to the rear of the site within x1 1100 litre bin which would be collected from this location by a private company fortnightly. This arrangement is deemed acceptable given the proposed use and is secured by relevant condition set out below.

(D) APPEARANCE, CHARACTER & HERITAGE

Section 7 of the NPPF outlines the Government attaches great importance to the design of the built environment. Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.

Section 12 of the NPPF outlines that in considering applications for development which impact heritage assets, an assessment of the heritage asset's significance must be made. Applications should then be determined in line with the desirability of new development making a positive contribution to local character and distinctiveness and the significance of the heritage asset. In this case, the site is located within the Cotham and Redland Conservation Area and with close proximity to a number of buildings which are both statutorily and locally listed for historic significance. The conservation area and listed buildings represent designated heritage assets in this case.

The Authority is also required (under Sections 66 and 72 of the Planning (Listed Buildings and Conservation Areas) Act 1990) to pay special regard to the desirability of preserving or enhancing the character or appearance of the area and the setting of listed buildings. Paragraph 132 of the NPPF states that significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. Furthermore, paragraph 134 states that where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss.

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Policy BCS21 (Quality Urban Design) of the Core Strategy advocates that new development should deliver high quality urban design that contributes positively to an area's character and identity, whilst safeguarding the amenity of existing development.

Policy BCS22 (Conservation and the Historic Environment) of the Core Strategy states that new development will safeguard or enhance heritage assets and the character and setting of areas of acknowledged importance.

Policy DM26 (Local Character & Distinctiveness) of the SADMP expands upon Core Strategy Policy BCS21 by outlining the criteria against which a development's response to local character and distinctiveness will be assessed. Development will not be permitted where it would be harmful to local character and distinctiveness or where it would fail to take the opportunities available to improve the character and quality of the area and the way it functions.

Policy DM27 (Layout and Form) of the SADMP outlines that the layout, form, pattern and arrangement of streets, open spaces, development blocks, buildings and landscapes should contribute to the creation of quality urban design and healthy, safe and sustainable places. It should make efficient use of land, provide inclusive access and take account of local climatic conditions.

Policy DM30 (Alterations to Existing Buildings) of the SADMP outlines that extensions and alterations to existing buildings will be expected to:

- i. Respect the siting, scale, form, proportions, materials, details and the overall design and character of the host building, its curtilage and the broader street scene; and
- ii. Retain and/or reinstate traditional or distinctive architectural features and fabric; and
- iii. Safeguard the amenity of the host premises and neighbouring occupiers; and
- iv. Leave sufficient usable external private space for the occupiers of the building.

It is stated that principles for the design of new buildings as stipulated at Policy DM29 (Design of New Buildings) will apply where development proposals involve new or altered shopfronts, external signage and/or external installations and security measures. Further information and detailed design guidance relating to shopfronts, security shutters and external signage can be found in Policy Advice Note 8 'Shopfront Guidelines'.

Policy DM31 (Heritage Assets) of the SADMP outlines that where development has an impact upon a heritage asset, it will be expected to conserve and, where appropriate, enhance the asset or its setting.

The site is notably situated within the Whiteladies Road Conservation Area which represents a designated heritage asset. The character of the local area is decidedly commercial at ground floor level, with a range of shops and services reflective of the location within a designated town centre. The proposed change of use would have a minor impact upon the exterior of the building. External alterations would be limited to the installation of a revised entrance door, and air conditioning compressors and ventilations louvres. The proposed compressor units would replace existing compressor units and result in an overall decrease in the number of compressors, thus slightly improving the appearance of the rear of the building. The revised entrance within the southern side elevation would be predominantly glazed. This would offer an upgrade on the existing door in this location and offer increased public surveillance over this area of public realm. Occupation of the unit and the associated activity would offer some benefit in terms of the appearance and vitality of the town centre.

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It is highlighted that signage for the proposed use has been granted advertisement consent under a separate application (17/04234/A). This was highly revised during the application process and reached an acceptable outcome. It is noted that general signage locations are still shown on the submitted plans in respect of this application and that this represents the scale and amount of signage proposed before the revisions were made. The plans associated with this application do not however constitute advertisement consent in their own right and therefore does not give permission for a greater amount of signage than approved under application reference 17/04234/A. An advice to this end is added for clarity.

Overall it is concluded that the proposed change of use and external alterations would preserve the host building and the appearance, character and historic significance of the surrounding Whiteladies Road Conservation Area.

PUBLIC HEALTH

Paragraph 171 of the NPPF states that “local planning authorities should work with public health leads and health organisations to understand and take account of the health status and needs of the local population (such as for sports, recreation and places of worship), including expected future changes, and any information about relevant barriers to improving health and well-being.”

Policy DM14 (The Health Impacts of Development) of the SADMP states that development should contribute to reducing the causes of ill health, improving health and reducing health inequalities within the city through:

- i. Addressing any adverse health impacts; and
- ii. Providing a healthy living environment; and
- iii. Promoting and enabling healthy lifestyles as the normal, easy choice; and
- iv. Providing good access to health facilities and services.

Developments that will have an unacceptable impact on health and wellbeing will not be permitted.

Given the link between exercise and health benefits, the proposal for a gym as a flexible, well located, convenient and additional venue for exercise is found beneficial and compatible with the objectives of the above policies with regard to improving health.

COMMUNITY INFRASTRUCTURE LEVY

The proposed change of use would not be liable to pay CIL in this instance.

CONCLUSION

Subject to safeguarding conditions it is found that the proposed change of use would avoid such detrimental harm to the amenity and living conditions of neighbouring premise and occupiers to warrant refusal. The proposal would also make a positive contribution to the vitality, viability and diversity of the primary shopping area and town centre, aid crime prevention and benefit public health. The site has good access by a wide range of transport modes and no issues are found with regard to the safe and free flow of the public highway. The proposal would also preserve the appearance, character and historic significance of the surrounding Whiteladies Road Conservation Area. Consequently, the application is found to accord with all relevant national and local planning policy and no material considerations have been identified which would warrant refusal. On this basis, it is recommended that planning permission is granted, subject to the conditions beneath.

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Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

RECOMMENDED GRANT subject to condition(s)

Time limit for commencement of development

1. Full Planning Permission

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre occupation condition(s)

2. Sound Insulation

The use hereby permitted shall not commence until a detailed scheme of noise insulation measures for the partitions between the proposed use and adjoining commercial premises is submitted to, and approved in writing by the Local Planning Authority.

The scheme of noise insulation measures shall take into account the recommendations detailed in the Noise Assessments submitted with the application.

The approved scheme shall be implemented in full prior to the commencement of the use permitted and be permanently maintained.

Reason: To ensure a suitable standard of amenity is maintained at adjacent premises.

Post occupation condition(s)

3. The operation of the premises and the associated gym use hereby approved shall be carried out in complete accordance with the Site Management Plan in perpetuity unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure noise resulting from development would not impinge upon the residential amenity and living conditions of surrounding occupiers.

4. Noise from plant & equipment affecting residential

The rating level of any noise generated by plant & equipment as part of the change of use shall be at least 5 dB below the background level as determined by BS4142: 2014 Methods for rating and assessing industrial and commercial sound.

Reason: To ensure noise resulting from development would not impinge upon the residential amenity and living conditions of surrounding occupiers.

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

5. First Floor Windows

The windows at the first floor level shall remain closed and sealed at all times and in perpetuity for the use hereby approved except for routine maintenance or in the event an emergency.

Reason: To ensure noise resulting from development would not impinge upon the residential amenity and living conditions of surrounding occupiers.

6. Refuse Storage and Collection

The use hereby permitted shall not commence until the refuse storage facilities allocated for storing of refuse and recyclable materials, as indicated within the supplied site management plan are completed in accordance with the supplied details. Thereafter, all refuse and recyclable materials associated with the development shall either be stored within this dedicated area or internally within the building that forms the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement. Refuse and recycling will be collected only between the hours of 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays, unless otherwise agreed in writing by the Local Planning Authority.

Reason: To safeguard the visual and residential amenity of the surrounding environment.

7. Use Restriction - General

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any Order revoking and/or re-enacting that Order) the premises shall only be used for the purposes specified in the application (gymnasium) and for no other purpose (including any other purpose in Class D2; on the Schedule to the Town and Country Planning (Use Classes) Order 1987 or any provision equivalent to that Class in any Statutory Instrument revoking and/or re-enacting that Order).

Reason: This use only is permitted and other uses, either within the same Use Class, or permitted by the Town and Country Planning (GPD) Order 2015 are not acceptable to the Local Planning Authority in this location because such uses would require full assessment against relevant local and national planning policy.

8. External Works to Match

All new external work and finishes and work of making good shall match existing original work adjacent in respect of materials used, detailed execution and finished appearance except where indicated otherwise on the approved drawings.

Reason: In the interests of visual amenity and the character of the area.

Development Control Committee A – 18 October 2017

Application No. 17/03716/F: Former Dorma Nightclub, First Floor, Clifton Down Station, Whiteladies Road, Bristol BS8 2PH

9. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Planning, Design and Access Statement, received: 4th July 2017
 Noise Assessment, received: 16th August 2017
 Memorandum to Noise Assessment, received: 6th October 2017
 Snap Fitness Site Management Plan, received: 6th October 2017
 Location Plan, DB-SF-414-LP, received: 4th July 2017
 Block Site Plan, DB-SF-414-BP, received: 4th July 2017
 Existing Elevations, DB-SF 414-EX03, received: 4th July 2017
 Existing Ground Floor Plan, DB-SF 414-EX01, received: 4th July 2017
 Existing First Floor Plan, DB-SF 414-EX02, received: 4th July 2017
 Proposed Elevations, DB-SF 414-EL06, received: 4th July 2017
 Proposed Ground Floor Plan, DB-SF 414-GA04 (A), received: 16th August 2017
 Proposed First Floor Plan, DB-SF 414-GA05 (A), received: 16th August 2017

Reason: For the avoidance of doubt.

Advices

1. Noise

The recommended design criteria for dwellings are as follows:

Daytime (07.00 - 23.00) 35 dB LAeq 16 hours in all rooms & 50 dB in outdoor living areas.

Nighttime (23.00 - 07.00) 30 dB LAeq 8 hours & L_{Amax} less than 45 dB in bedrooms.

Where residential properties are likely to be affected by amplified music or sound from neighbouring licensed premises the recommended design criteria is a Noise Rating Curve NR20 at all times in any habitable rooms

2. Noise from Plant

Anti-vibration mounts should be used to isolate plant from fixed structures and a flexible connector used to connect the flue to the fan if there is a potential to transmit vibration to any noise sensitive property. Any systems will also need regular maintenance so as to reduce mechanical noise.

3. Signage

It is highlighted that the details of signage as shown on drawings submitted with this application would require separate advertisement consent. This application does not grant permission for or permit the display of any signs or advertisements.

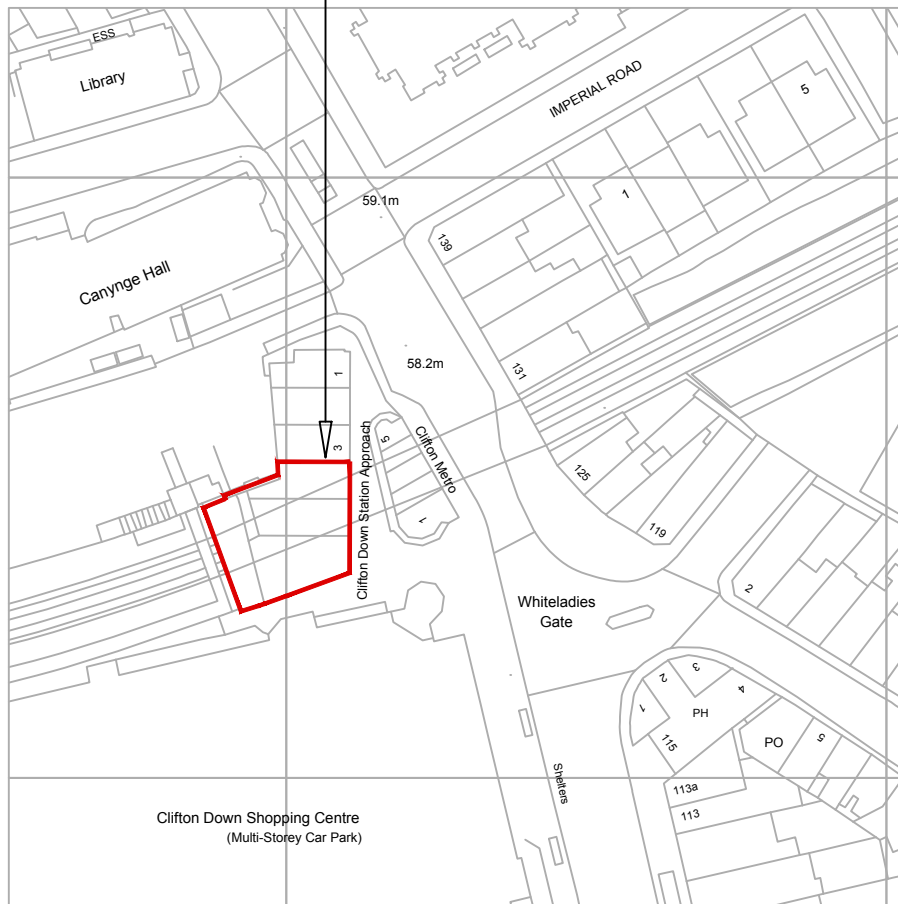
Supporting Documents

1. Former Dorma Nightclub

1. Site location plan
2. Block plan
3. Proposed first floor plan
4. Proposed elevations
5. Noise assessment
6. Noise report memorandum
7. Snap fitness site management plan

APPLICATION SITE

Clifton Down Station, White Ladies Road, Bristol, BS8 2PH



DELTABRAVO LIMITED

DESIGN * CONSTRUCTION * SHOPFITTING * PROJECT MANAGEMENT

Academy House, London Road, Camberley, Surrey. GU15 3HL

CLIENT

SNAP FITNESS

PROJECT

Clifton Down Station, Whiteladies Road,
Bristol, BS8 2PH

TITLE

LOCATION PLAN

DRAWING No

DB-SF-414-LP

REVISION

SCALE @ A4

1:1250

DATE

28.06.17

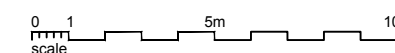
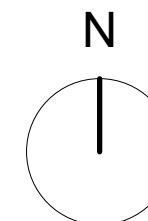
DRAWN BY

M W

NOTES:

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COMMENCEMENT OF ANY WORK OR PREPARING
MANUFACTURING DRAWINGS

ANY DISCREPANCIES ON THIS DRAWING ARE TO BE
NOTIFIED TO THE DESIGNER IMMEDIATELY

[illegible]

REV	AMENDMENT	DATE
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NOTES:
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MANUFACTURING DRAWINGS
DO NOT SCALE FROM THIS DRAWING
ANY DISCREPANCIES ON THIS DRAWING ARE TO BE
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DELTA BRAVO LIMITED

DESIGN * CONSTRUCTION * SHOPFITTING * PROJECT MANAGEMENT

Academy House
London Road
Camberley
Surrey
GU15 3HL

CLIENT

SNAP FITNESS

PROJECT

Clifton Down Station, White Ladies Road,
Bristol, BS8 2PH

TITLE

BLOCK SITE PLAN

SCALE @ A3

1:200 @A3

DRAWN BY

MW

DATE _____

DATE
28.06.17

DRAWING No

DB-SF-414-BP

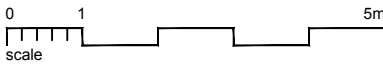
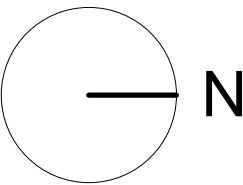
	REVISION
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GROSS INTERNAL AREA

413 sq.m.
4445.5 sq.ft.

- existing walls
- existing partitions
- ceiling height
- s/c ????
- suspended ceiling height
- existing beam height
- window cill & head height



A	Added Existing Fire Exit Door and stairlift.	04.08.17
REV	AMENDMENT	DATE

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GU15 3HL

CLIENT SNAP FITNESS		
PROJECT Clifton Down Station, White Ladies Road, Bristol, BS8 2PH		
TITLE GENERAL ARRANGEMENT FLOOR PLAN		
SCALE @ A2 1:100 @A2	DRAWN BY M W	DATE 28.06.17
DRAWING No DB-SF 414-GA05		REVISION A

Elevation A

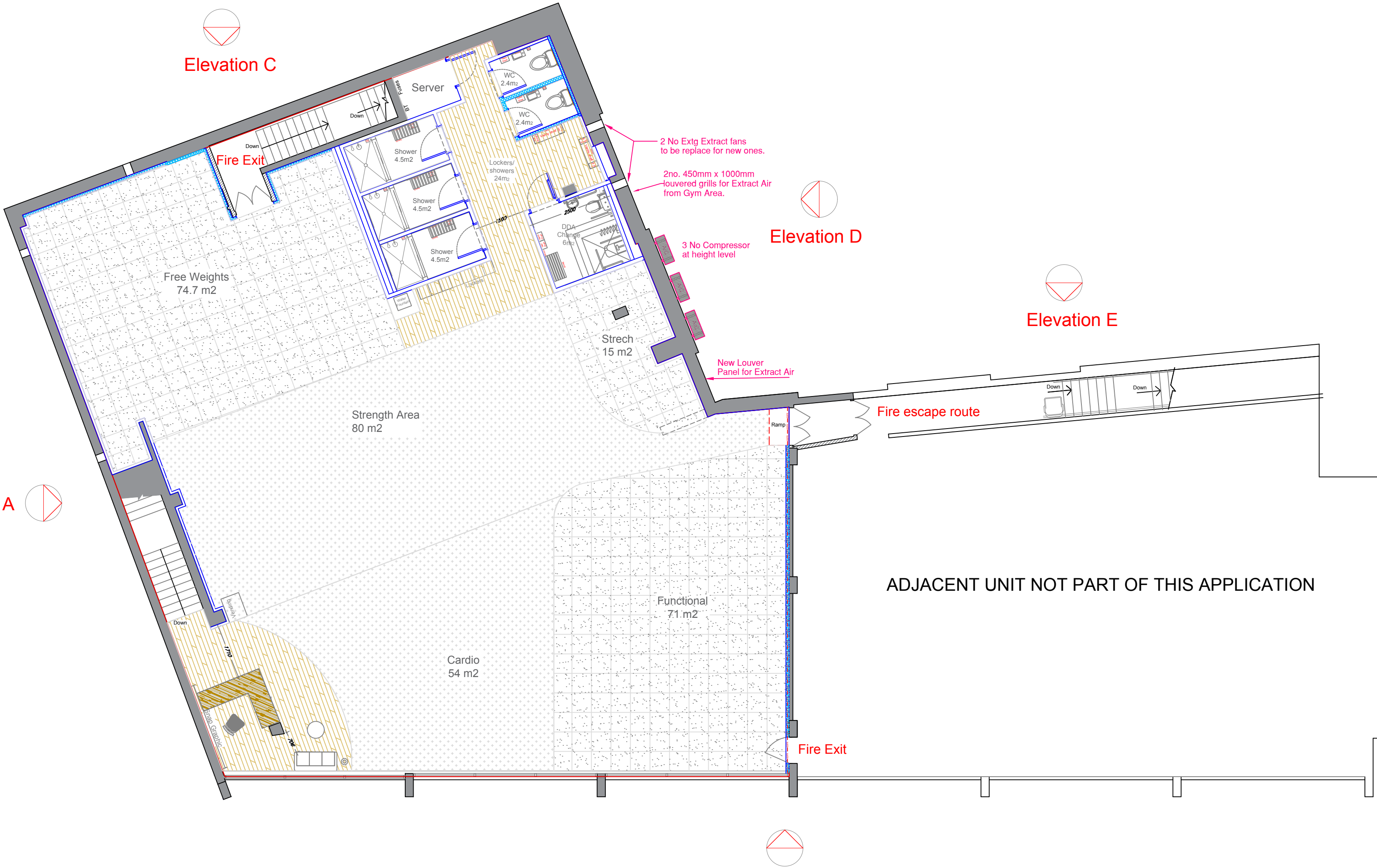
Elevation C

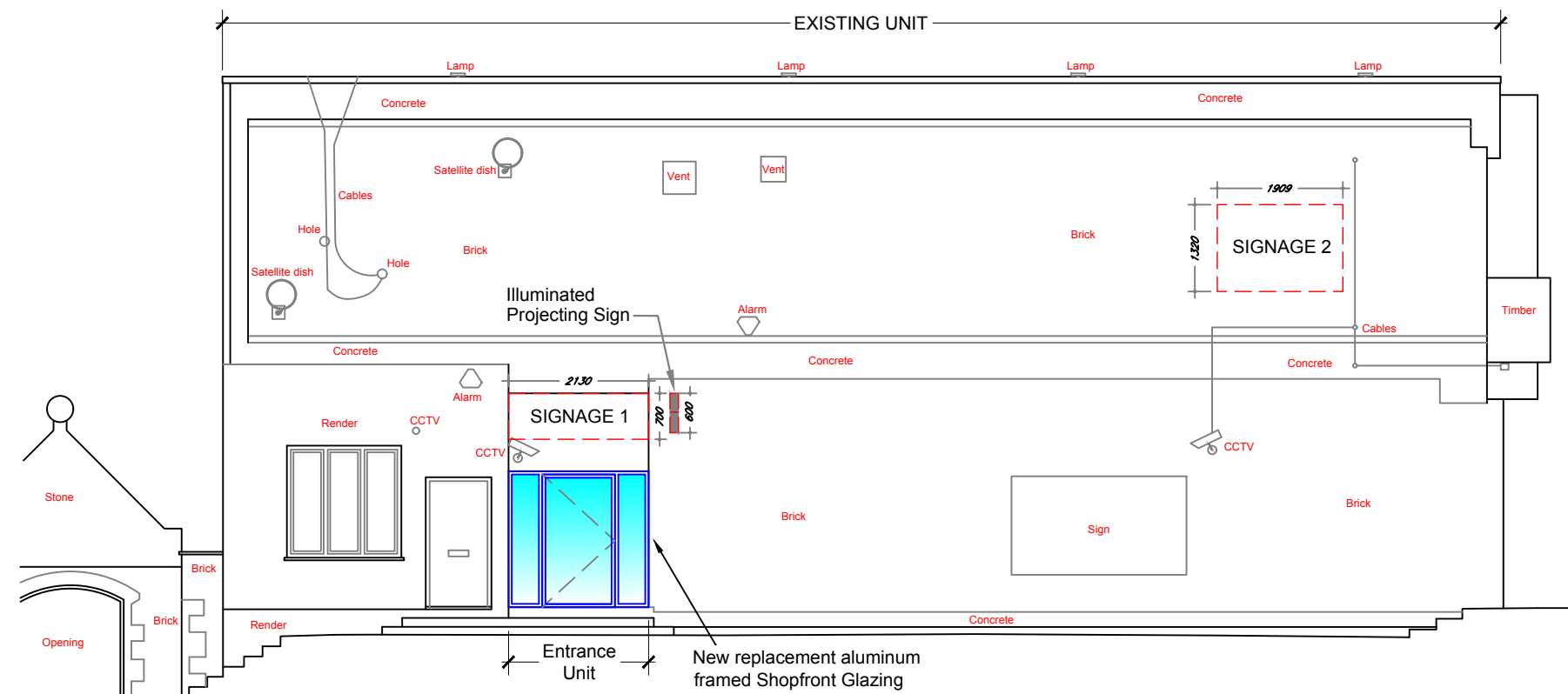
Elevation B

Elevation D

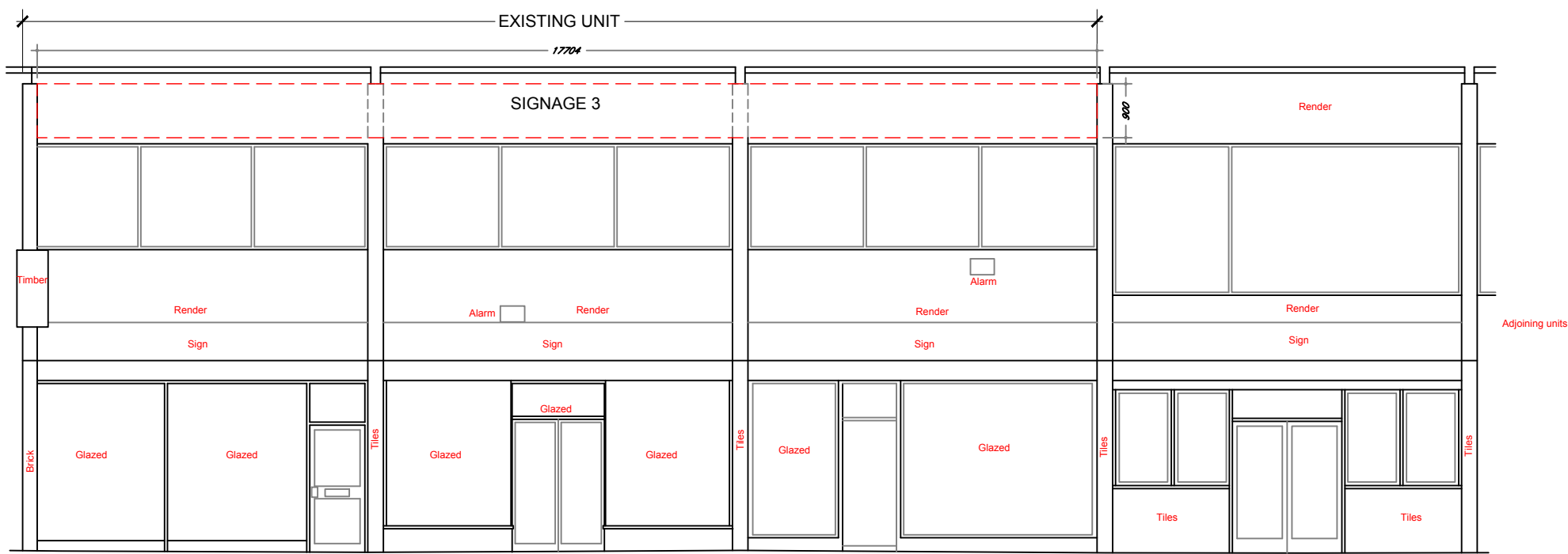
Elevation E

ADJACENT UNIT NOT PART OF THIS APPLICATION

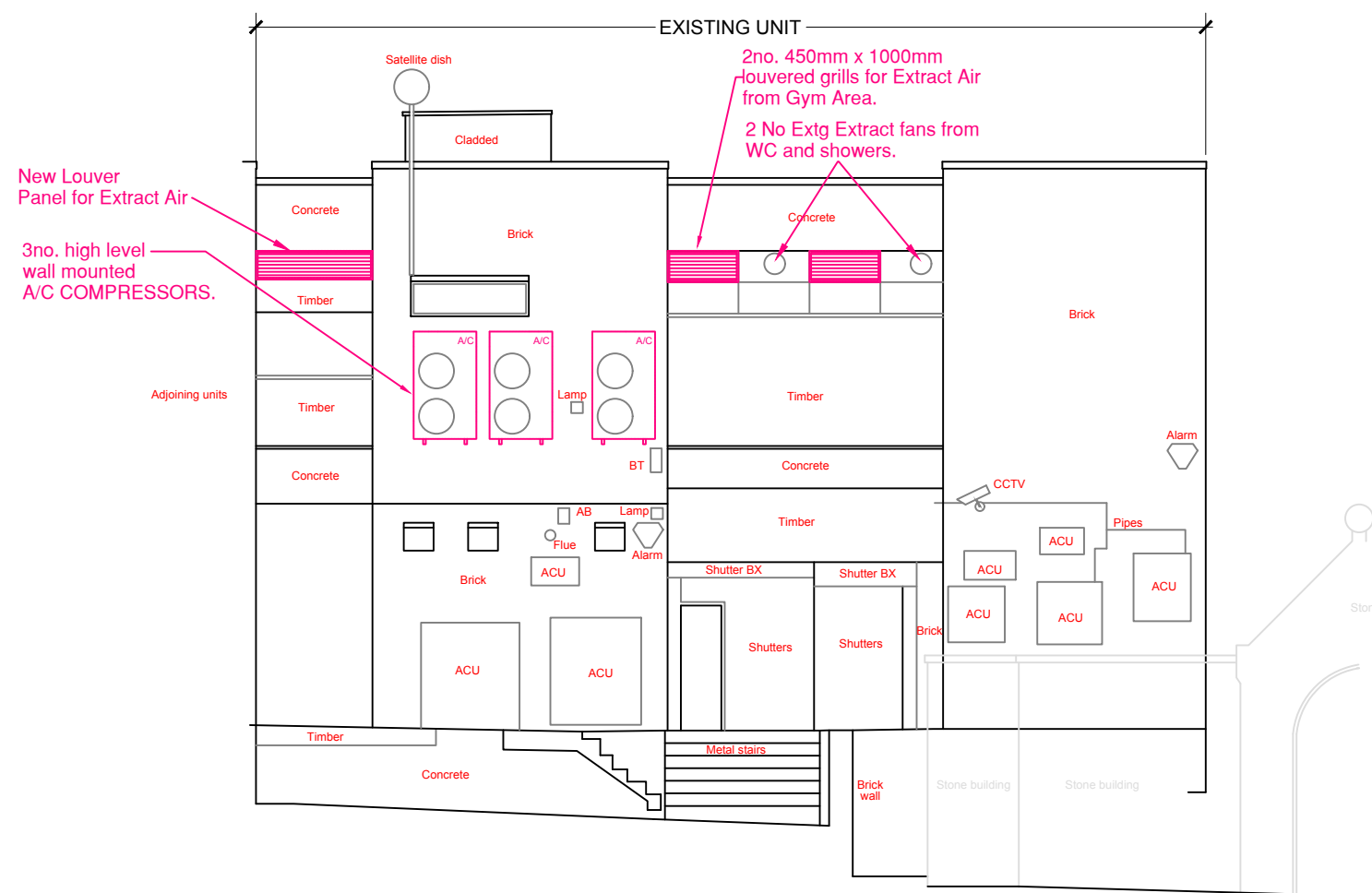




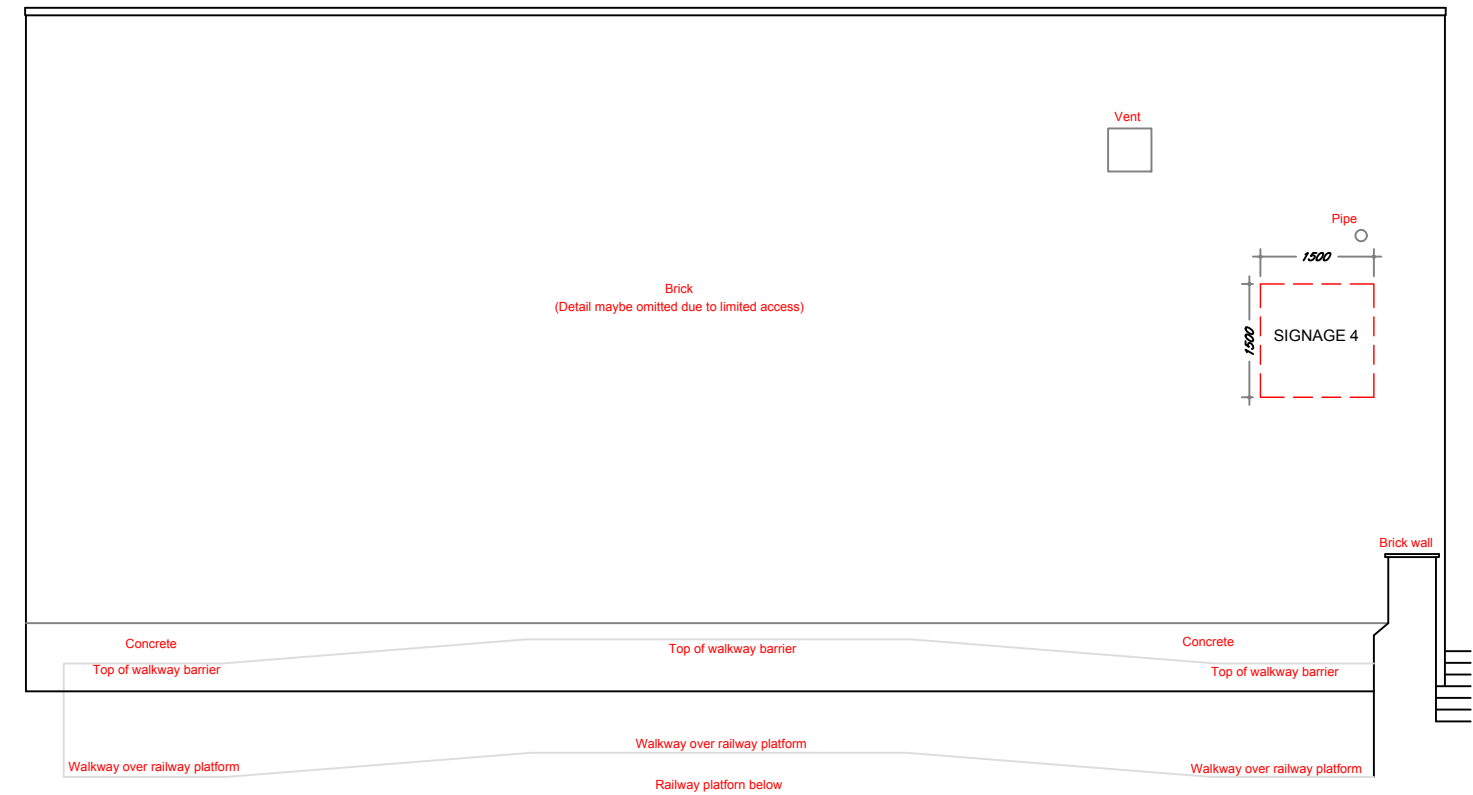
PROPOSED SIDE ELEVATION A (SOUTH)



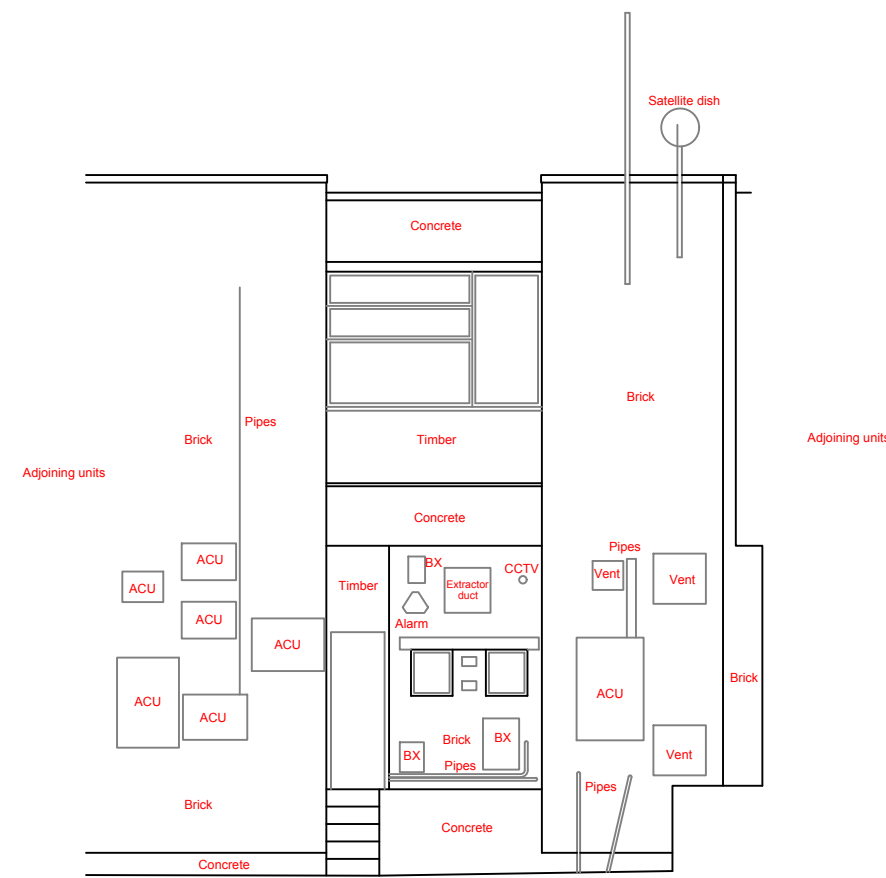
PROPSED FRONT ELEVATION B (EAST)



PROPOSED REAR ELEVATION D (NORTH)



PROPSED SIDE ELEVATION C (WEST)



PROPOSED SIDE ELEVATION E (WEST)

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REV	AMENDMENT	DATE
<p>NOTES:</p> <p>CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK OR PREPARING MANUFACTURING DRAWINGS</p> <p>DO NOT SCALE FROM THIS DRAWING</p> <p>ANY DISCREPANCIES ON THIS DRAWING ARE TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY</p>		
<div><div><div>b</div><div>DELTA BRAVO LIMITED</div><div>DESIGN * CONSTRUCTION * SHOPFITTING * PROJECT MANAGEMENT</div></div><div>Academy House London Road Camberley Surrey GU15 3HL</div></div>		
CLIENT SNAP FITNESS		
PROJECT Clifton Down Station, White Ladies Road, Bristol, BS8 2PH		
TITLE PROPOSED ELEVATIONS		
SCALE @ A2 1:100 @A2	DRAWN BY M W	DATE 10.02.17
DRAWING No DB-SF 414-EL06		REVISION

Snap Fitness, Clifton

Noise Assessment

Report 17/0537/R1

Snap Fitness, Clifton

Noise Assessment

Report 17/0537/R1

MSG Life Ltd

The Courtyard
Chapel Lane
Bodicote
Banbury
Oxon
OX15 4DB

Revision	Description	Date	Prepared	Approved
0	First Issue	16 August 2017	Lee Montague	Neil Jarman

This report and associated surveys have been prepared and undertaken for the private and confidential use of our client only. If any third party whatsoever comes into possession of this report, they rely on it at their own risk and Cole Jarman Limited accepts no duty or responsibility (including in negligence) to any such third party.



Noise Assessment

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Noise Assessment

Attachments

Glossary of Acoustic Terms

17/0537/SP1

Site plan.

Appendix A

Development plans.

Appendix B

Noise survey of existing Snap fitness gym.

Appendix C

Music noise guidance criteria.

 End of Section



Noise Assessment

1 Introduction

- 1.1 Planning permission (application ref 17/03716/F) is being sought for the change of use of a nightclub to a 24 hour gym at Clifton, Bristol. The environmental health department have raised some potential concerns relating to noise issues with the scheme. These include:
- Plant noise emission from mechanical services
 - Activity noise (including music) breakout via façade and party wall/floor
 - Impact noise to retail units below
- 1.2 This report sets out a summary of these issues, with technical assessments prepared where necessary.

2 Site Description

- 2.1 The site is a first floor commercial unit located at Whiteladies Road, Clifton, Bristol, BS8 2PH. The site and surrounding area can be seen in attached site plan 17/0537/SP1. The unit is part of a wider commercial building with retail units beneath at ground floor and adjacent at first floor. This building is next to the Clifton Down shopping centre as well as Clifton Down railway station (the rail lines passing under the building).
- 2.2 The site can be seen in the below image from Google Street view

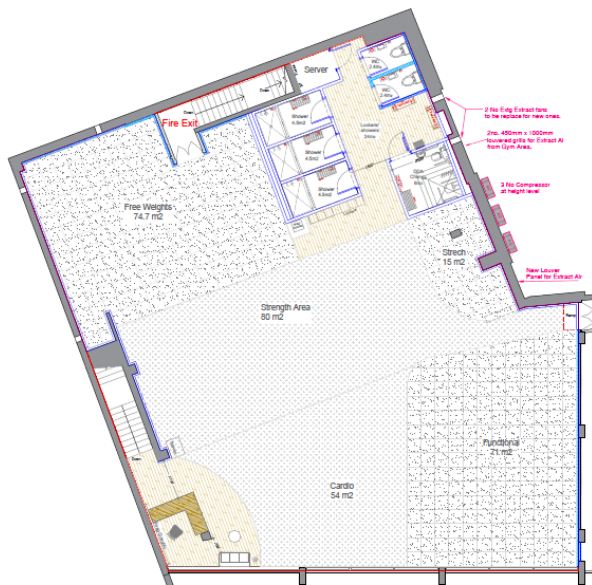


- 2.3 The surrounding area is a busy urban location with existing retail and commercial units, where the road is also well trafficked. Daytime noise levels in the surrounding area are expected to be relatively high, especially in the day. We note that the unit was formerly used as a night club, with loud music playing into the early hours.



Noise Assessment

- 2.4 The nearest residential or 'noise sensitive' properties are located to the rear of premises on Whatley Road. The building on the corner with Whiteladies Road is a university building, with Canynge Hall adjacent set further down the road. This building is operated by the university, but it is not clear if it includes noise sensitive accommodation. Adjacent, even further down the road, is 37 Whatley Street, the closest purely residential dwelling to the rear of the development site.
- 2.5 To the opposite side of Whiteladies Road are commercial units at ground level with residential flats at the upper floors. The closest to the development site is the building opposite at 123-125 White Ladies Road (above Costa Coffee).
- 2.6 The proposed gym is to operate 24 hours a day. It is a primarily open plan space zoned into different exercise areas. The façade is glazed for large areas fronting the road. The rear facades will accommodate ancillary facilities and the façade in this location will be without windows. The site layout can be seen in Delta Bravo drawing DB-SF 414-GA05 (see Appendix A for drawing package) with the layout copied below:



- 2.7 As part of the scheme 3 condenser units to provide comfort cooling are to be installed to the rear of the building, fixed to the façade at first floor level. These units are replacements for 4 no. of existing unmitigated condensers serving the current night club; to be installed in the same location on the façade.
- 2.8 Some internally installed air plant will terminate through new louvres and grills on this rear wall. All internally installed plant will have in-duct silencers to reduce potential external noise emission.



Noise Assessment

3 Council Concerns

- 3.1 Mark Curtis of the Bristol City Council Pollution Control Team has comments on the application in an internal council email dated 27th July 2017. He noted:

"Whilst I would agree with the Design & Access Statement that the proposed use is likely to have much less impact with regards to noise than the existing nightclub use I do still have some concerns with regards to the noise from ventilation or air conditioning systems affecting nearby residents, the potential for music, particularly from classes affecting nearby residents and noise from the gym, particularly from the free weights area, affecting the commercial units below the proposed gym."

- 3.2 In the absence of further information, 3 conditions related to noise were then proposed:

1. Noise from development

No development shall take place until an assessment on the potential for noise from the development affecting residential or commercial properties in the area has been submitted to and approved in writing by the Council.

The assessment shall include: noise from:

- Noise from any ventilation and air conditioning plant
- Noise from music
- Noise from the use of the gym, including free weights, affecting the commercial properties below

If the assessment indicates that noise from the development is likely to affect neighbouring residential or commercial properties then a detailed scheme of noise mitigation measures shall be submitted to and approved in writing by the Council prior to the commencement of the development.

The noise mitigation measures shall be designed so that nuisance will not be caused to the occupiers of neighbouring noise sensitive premises by noise from the development.

The noise assessment shall be carried out by a suitably qualified acoustic consultant/engineer and shall take into account the provisions of BS4142: 2014 Methods for rating and assessing industrial and commercial sound and of BS 8233: 2014 "Guidance on sound insulation and noise reduction for buildings".

The approved scheme shall be implemented prior to the commencement of the use and be permanently maintained thereafter.

2. Noise from plant & equipment affecting residential



Noise Assessment

The rating level of any noise generated by plant & equipment as part of the development shall be at least 5 dB below the background level as determined by BS4142: 2014 Methods for rating and assessing industrial and commercial sound.

3. Use of Refuse and Recycling facilities

Activities relating to the collection of refuse and recyclables shall only take place between 08.00 and 20.00 Monday to Saturday and not at all on Sundays or Bank Holidays.

- 3.3 The gym operator would prefer to avoid any pre-commencement conditions that require further material to be submitted later; although the inclusion of informative conditions would be agreeable. This report sets out further details in order to provide additional information to remove the need for the above noted pre-commencement conditions to be included as any planning permission should it be granted.

4 Plant Equipment

4.1 Installation Details

- 4.1.1 Details of the plant installation have been provided by Delta Bravo and can be seen on their drawing DB-414-HVAV10 (included as Appendix A). Internally installed air plant includes 2 Heat recovery units (supply and extract) and 1 dedicated extract from the toilets and changing areas. These are all ducted items terminating through grills / louvres.
- 4.1.2 These will include in-duct silencers before terminating through the façade with a noise limit of no greater than 41dBA @ 3m from each of the terminations. This would limit a combined level of air plant to no greater than 30dBA externally at the facade. Noise from these items is therefore not expected to be a significant issue.
- 4.1.3 The proposed external plant equipment with external noise emissions are as follows:
- AC condensing unit – Toshiba RAV-SM2804AT (2 no. of)
 - AC condensing unit – Toshiba RAV-SM1404AT (1 no. of)
- 4.1.4 The condensing units are proposed to be installed at first floor level on the rear façade of the building as show in Delta Bravo drawing DB-SF 414-EL06 (see Appendix A). These units are to replace 4 existing condenser units as illustrated on Delta Bravo drawing DB-SF 414-EX03 (see Appendix A). These condenser units have served the previous night club and therefore would have operated into the evening and night.
- 4.1.5 We note that there are also a large number of other condenser units serving the other retail units in the building. The image below from Google Street View clearly shows the large number already installed to the rear of the building (at least 16 from our visual count).



Noise Assessment



- 4.1 All plant will be installed with suitable anti-vibration mounts or fixings to avoid structure borne noise to adjacent commercial units.

4.2 Assessment

- 4.2.1 There is a net loss of one condenser unit as part of the proposal. Although details of the current units are not known, considering the number of other units already installed, all unattenuated and some visually looking like higher duty units, we would not expect the replacement of 4 units with 3 similarly sized ones, surrounded by at least 12 other units from other operators would cause a material difference in the noise climate as the nearest noise sensitive receivers which are at least 35m away (to Canynge Hall).
- 4.2.2 Considering the plant in isolation, without the contribution from other existing condenser units they are replacing, or other existing units of separate commercial premises, we have undertaken a basic calculation.
- 4.2.3 The SM2804 unit has a noise rating of 57-58dB ($L_p@1m$); the SM1404 unit is rated as 51-52dB ($L_p@1m$). A crude assessment indicates a total (façade incident) noise level of below 40dBA at the closest residential receivers which are at least 35m away. Given that openable windows are expected to provide at least 10-15dB from a façade incident level, internally noise levels would be 25-30dBA.
- 4.2 To add context to this, the internal noise levels stated in BS 8233 for sleeping conditions in bedrooms at night is 30 dB(A). Although this standard is typically considered for 'anonymous' environmental noise sources such as road traffic, it does illustrate how low the noise would be.



Noise Assessment

- 4.3 This approach of considering absolute noise levels rather than those set relative to the background in such circumstances is consistent with BS 4142:2014 which states:

“Where the initial estimate of the impact needs to be modified due to the context, take all pertinent factors into consideration, including the following.

1) The absolute level of sound. For a given difference between the rating level and the background sound level, the magnitude of the overall impact might be greater for an acoustic environment where the residual sound level is high than for an acoustic environment where the residual sound level is low.

Where background sound levels and rating levels are low, absolute levels might be as, or more, relevant than the margin by which the rating level exceeds the background. This is especially true at night.”

- 4.4 We would suggest that the assessed noise level, without any specific mitigation to the condensers is entirely reasonable and appropriate in such an environment considering the context of the area and existing plant installation being removed.

5 Impact Noise

- 5.1 We would not typically expect retail uses to be considered noise sensitive; however, given that gym use can potentially create higher impacts due to weights being dropped at times, it is prudent to consider the neighbouring retail units beneath the proposed gym.
- 5.2 We do not have confirmed details of the building structure, however understand the building to have concrete floor slabs. Measurement in situ is not possible as the other units are not in the gym operator's ownership; however based upon experience from other Snap fitness sites, resilient acoustic matting will be installed in the gym to reduce impact noise.
- 5.3 The gym areas used for exercise (i.e. all areas except changing rooms, toilets, stairs etc) will be covered with at least a basic resilient gym mat for the floor finish. This is typical a 15mm thick mat used as standard by this gym operator. To the areas used for free weights, where impacts are more likely to occur, an additional acoustic layer will be used in addition to the typical gym matt, or otherwise a separate system including finish will be used.
- 5.4 Based upon previous measurements made in concrete frame buildings, the following options would provide good resistance to weight impacts down to a commercial environment beneath:
- 40mm thick CMS Regupol 40/80 plus standard (15mm) gym matting over
 - 30mm thick GenieMatt Fit-30 (can be the final finish without additional mat over if desired)
- 5.5 The additional matting is not expected to be required to the 'cardio' areas or other areas where the dropping of weights is not expected. All weight machines should have a similar



Noise Assessment

acoustic resilient layer installed beneath where otherwise not installed over the same floor build up.

- 5.6 With the above noted resilient layers included, impact sound insulation and therefore structural noise transmission will be significantly reduced. Given that the units beneath are commercial, we would expect this to be sufficient for typical operations and uses.
- 5.7 We note that during daytime hours when the surrounding retail units will be open, the gym will be staffed, whereby patrons of the gym who may potentially misuse free weights and machinery (i.e. dropping rather than placing down) will be supervised and managed accordingly to their behaviour.

6 Sound Insulation

6.1 Introduction

- 6.1.1 The new gym will have a party wall with one adjacent unit at first floor and a party floor to multiple retail units at ground floor. We would expect the floor construction to be at least 100mm thick concrete, with additional heavy matting installed above.
- 6.1.2 Details of the existing party wall are not known, however we would expect a basic level of insulation to already be provided; however, as part of the fit out, a new lining will be installed to this wall, partly for fire purposes, but will also serve for acoustic purposes.
- 6.1.3 This particular gym at Clifton is to be open plan with one main room (zoned, but not physically divided). Typically, low level background music is played to the gym via a built in sound system with distributed speaks in the ceiling.
- 6.1.4 At some sites separate classes are operated, typically in a separate room, where portable gettoblasters are used to provide a separate sound track at higher volume. In this case, with the gym being open plan, this type of activity is unlikely to occur to the same volume, to avoid disturbance to other gym users. Also, being open plan, noise levels would not be as high as in other existing units where such noise is generated in a small room.

6.2 Criteria

- 6.2.1 Guidance as to appropriate noise levels to commercial premises can be found in BS8233:2014 *Guidance on sound insulation and noise reduction for buildings*, as well as CIBSE guide A. These are typically associated with more common environmental (i.e. transportation) noise break-in, however there is not specific guidance as to what is acceptable in terms of gym activity noise to commercial premises.
- 6.2.2 Tables 2 and 6 of BS8233 are repeated below with some example receiver types. In this case the current uses beneath or adjacent to the gym are retail and café / restaurant.



Noise Assessment

Table 2 Indoor ambient noise levels in spaces when they are unoccupied and privacy is also important

Objective	Typical situations	Design range $L_{Aeq,T}$ dB
Typical noise levels for acoustic privacy in shared spaces	Restaurant	40 – 55
	Open plan office	45 – 50
	Night club, public house	40 – 45
	Ballroom, banqueting hall	35 – 40
	Living room	35 – 40

Table 2 of BS8233:2-15

Table 6 Typical noise levels in non-domestic buildings

Activity	Location	Design range dB $L_{Aeq, T}$
Speech or telephone communications	Department store	50 – 55
	Cafeteria, canteen, kitchen	
	Concourse	45 – 55
Study and work requiring concentration	Corridor, circulation space	
	Library, gallery, museum	40 – 50
	Staff/meeting room, training room	35 – 45
Listening	Executive office	35 – 40
	Place of worship, counselling, meditation, relaxation	30 – 35

Table 6 of BS8233:2014

6.2.3 It can be seen that the lowest criteria noted for the type of adjacent use is 40dB L_{Aeq} . This is consistent with CIBSE guidance which notes dBA noise levels to restaurants and small shops of 40-45dBA. Such criteria are set in relation to the average L_{Aeq} noise level. No specific guidance is given to maximum noise levels, as these are typically more relevant to sleep disturbance in residential dwellings.

6.2.4 Typically, in commercial developments with multiple tenants, some of which are of a 'leisure' nature, noise limits of NR45 L_{max} are commonly used by landlords in lease agreements. This is more stringent than that noted above and also accounts for frequency content.

6.3 Noise Levels

6.3.1 Cole Jarman have previously measures noise levels in an existing Snap fitness branch, specifically at Windsor. Attached Appendix B sets out a summary of the survey conducted and the noise levels measured.

6.3.2 In summary average noise levels in the main gym area were up to 69dB L_{Aeq} . To a separate small studio room used for a class, with gettoblaster used levels were up to 84dB L_{Aeq} for the short duration of the class. For this site, as a small separate room will not be provided, the



Noise Assessment

highest average noise levels are expected to be somewhere between the values noted above. Suggesting a level 5dBA below that directly measured at Windsor would still be a prudent approach for Clifton.

6.3.3 In terms of maximum noise level values of up to 96dB L_{Amax} in the small studio were recorded with loud music, and 90-97dB L_{Amax} due to weight being dropped in the free weights area. Again, due to the separate and reverberant nature of the small room where the studio noise levels were measured in Windsor, levels can be expected to be at least 5dB lower at Clifton in terms of the L_{Amax} .

6.3.4 We note that these levels were recorded in close proximity to the activities noted. Even from the machine to the party wall or façade, noise levels will be significantly reduced when away from the specific machines.

6.4 Assessment

Party Wall

6.4.1 The existing party wall build up from the proposed gym to adjacent first floor unit is not known, however a typical construction would be expected to provide the same acoustic performance as a single skin leaf of standard brickwork (i.e. 103mm brick).

6.4.2 The new lining to this existing wall will comprise 2 layers of 15mm SoundBloc or FireLine plasterboard installed on a semi or fully independent system such as British Gypsum Universal (semi) or IWL (fully) system. The Universal system is expected to have a lower performance as it does have some limited connection with the party wall. Manufacturer data suggests an improvement over a reasonable base wall of 13dB R_w for the Universal system with 2 layers of 12.5mm SoundBloc and 25mm quilt in a 35mm cavity.

6.4.3 When combined with the base wall (assumed to be equivalent to 103mm brick) gives a lab rated sound insulation value of 60dB R_w (for the purpose of assessment we have assumed the octave band performance of this build up as available from British Gypsum substantiation reports).

6.4.4 We have assessed the sound insulation to the receiver room, assuming a large (up to 30m²) section of party wall between units and a typical reverberation time of 1.0s in the adjacent unit. On this basis, all of the different average and maximum noise levels as set out in tables T3 and T4 of Appendix B have been analysed; accounting for a 5dB relaxation to the studio noise levels due to the differences in design at Clifton for classes using a gettoblaster.

6.4.5 For the common general activity in cardio type area levels are assessed as NR18 L_{max} . For the worst case frequency combination of any use (including studio noise levels and heavy weights dropped) NR42 is reached at worst.

6.4.6 In terms of average noise levels 20dB L_{Aeq} is typically expected from general cardio and weights area use. Even considering the noise levels from classes using a gettoblaster, only 29dB L_{Aeq} is assessed.



Noise Assessment

- 6.4.7 The above assessment shows that entirely suitable noise levels will be provided to the adjacent unit via the lined party wall based upon the worst case noise levels potentially to be found in the gym.

Party Floor

- 6.4.8 The details of the party floor are not known, but from visual inspection of the southern façade, it appears to show a concrete floor interrupting the external brickwork. Given the spans between columns, we would expect the slab to be at least 150mm thick solid concrete.
- 6.4.9 Such a floor would typically provide at least R_w 52dB. The inclusion of the additional flooring above and potential for ceiling beneath will enhance this figure, but reasonably one could expect at least 52dB R'_w in situ.
- 6.4.10 We have assumed a common section of floor area of up to 50m² over any single room below, with the same 1.0s reverberation time in the retail spaces beneath. On the same assessment basis as considered for the party wall, for the common general activity in cardio type area levels are assessed as NR29 L_{max} . For the worst case frequency combination of any use (including gettoblaster noise levels and heavy weights dropped) NR45 is reached at worst.
- 6.4.11 In terms of average noise levels 24dB L_{Aeq} is typically expected from general cardio and weights area use. Even considering the noise levels from classes using a gettoblaster, 38dB L_{Aeq} is assessed.
- 6.4.12 The above assessment shows that entirely suitable noise levels will be provided to the adjacent unit via the party floor, considering a pessimistic assessment basis in terms of assumed construction.

6.5 Summary

- 6.5.1 The gym typically operates with relatively low volume background music the majority of the time. Only specific classes of short duration utilise music of high volume. Levels of noise in an existing Snap fitness site have been quantified. A review of the party walls and floors have been undertaken making pessimistic assumptions of the constructions in the absence of more detailed information.
- 6.5.2 The assessment shows that noise levels to the adjacent commercial units will be within recognised industry standard guidance values.

7 Noise Breakout

7.1 Introduction

- 7.1.1 In a similar fashion to the internal sound insulation, the façade has also been assessed in terms of noise breakout. With the rear façade not containing any windows and the majority of the



Noise Assessment

construction being masonry, it is the windows to the front façade facing Whiteladies Road which is the area of façade considered for assessment.

- 7.1.2 To the opposite side of the road the closest residential receivers are at the flats above shops at upper floors of 123-125 Whiteladies Road, approximately 35m away. Other residences to the rear of Whatley Road will be well protected due to the layout and façade construction in that direction.

7.2 Criteria

- 7.2.1 The residences on Whiteladies Road are likely exposed to already relatively high noise levels due to the busy nature of the area, including pedestrian activity, road traffic and train noise. In the absence of any site survey data, one can assess to absolute levels rather than relative to the existing climate. This is a worst case which is typically used in situations where the noise climate is low.
- 7.2.2 There are various guidance documents related to music noise and low frequency noise affecting residential amenity. Attached Appendix C sets out various criteria. In summary the following limiting noise levels, to be calculated **externally** 1m from the façade, are proposed:

Item	Noise Level (L_{eq} , dB) @ Octave Band Centred Frequency (Hz)							
	63	125	250	500	1k	2k	4k	8k
Noise Limit	60	54	44	37	33	30	27	26

T1 External noise limit

7.3 Assessment

- 7.3.1 We have based our assessment on the façade area of approximately 54m² directly facing the residences opposite which are some 35m away.
- 7.3.2 The façade is mostly glazed and are not openable windows, but fixed (sealed) panes. The makeup of the glass is not known, so we have considered the worst case of any octave band of standard thermal double glazing or 6mm single glazing.
- 7.3.3 We have assessed the typical cardio / weights area noise emission as well as the classes use of a gettoblaster as previously described for the internal sound insulation assessment. The assessed levels are summarised below:



Noise Assessment

Item	Noise Level (L_{eq} , dB) @ Octave Band Centred Frequency (Hz)							
	63	125	250	500	1k	2k	4k	8k
Cardio / weight noise	27	23	22	14	7	9	6	3
Classes noise	31	36	37	25	17	14	7	0
Noise Limit	60	54	44	37	33	30	27	26

T2 External noise limit

- 7.3.4 It can be seen that the noise limits are met by a comfortable margin at all frequencies, even based upon the worst case noise levels and assuming just single glazing. Therefore, noise breakout via the façade is clearly acceptable.

8 Conclusion

- 8.1 Planning permission (application ref 17/03716/F) is being sought for the change of use of a nightclub to a 24 hour gym at Clifton, Bristol. The environmental health department have raised some potential concerns relating to noise issues with the scheme. These include:
- Plant noise emission from mechanical services
 - Activity noise (including music) breakout via façade and party wall/floor
 - Impact noise to retail units below
- 8.2 This report sets out commentaries and assessments of the above issues. Where necessary mitigation has been proposed to reduce potential noise impacts. This includes resilient matting to the floor to reduce impact noise and an acoustic lining to the party wall with neighbouring commercial unit.
- 8.3 External condenser plant equipment is not expected to require any specific mitigation; partly as it is replacing a number of existing units already present on site. The façade also does not warrant any upgrade in terms of sound insulation with noise breakout assessed comfortably within relevant criteria.
- 8.4 On the basis of the adoption of the above noted acoustic measures, we suggest that no specific planning conditions need apply to noise; however, if conditions are favoured, informative type, rather than pre-commencement type would be adequate.

■ End of Section



Noise Assessment

Glossary of Acoustic Terms

L_{Aeq} :

The notional steady sound level (in dB) which over a stated period of time, would have the same A-weighted acoustic energy as the A-weighted fluctuating noise measurement over that period. Values are sometimes written using the alternative expression dB(A) L_{eq} .

L_{Amax} :

The maximum A-weighted sound pressure level recorded over the period stated. L_{Amax} is sometimes used in assessing environmental noise when occasional loud noises occur, which may have little effect on the L_{Aeq} noise level. Unless described otherwise, L_{Amax} is measured using the “fast” sound level meter response.

L_{A10} & L_{A90} :

If non-steady noise is to be described, it is necessary to know both its level and degree of fluctuation. The L_{An} indices are used for this purpose. The term refers to the A-weighted level (in dB) exceeded for n% of the time specified. L_{A10} is the level exceeded for 10% of the time and as such gives an indication of the upper limit of fluctuating noise. Similarly, L_{A90} gives an indication of the lower levels of fluctuating noise. It is often used to define the background noise.

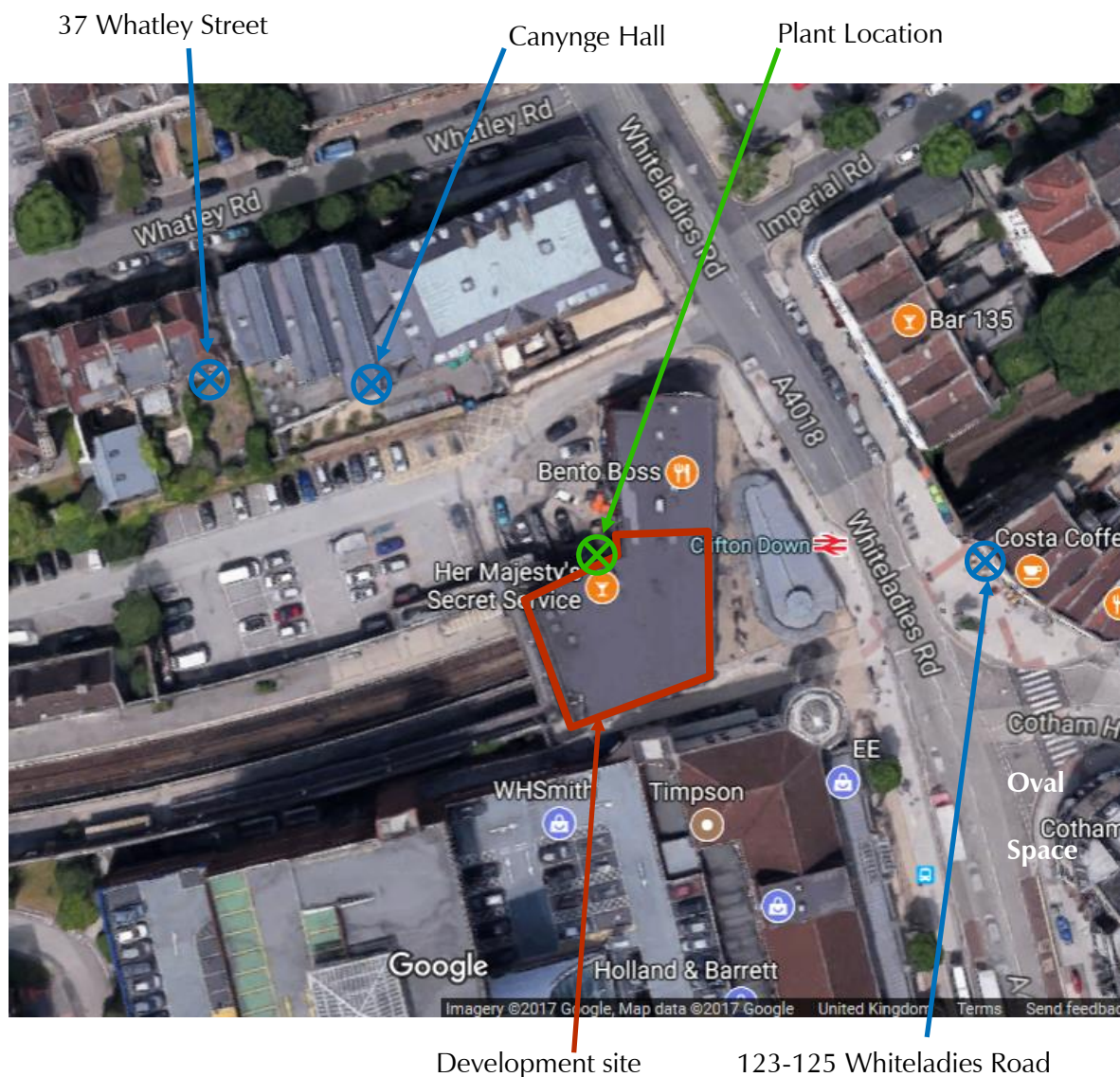
L_{A10} is commonly used to describe traffic noise. Values of dB L_{An} are sometimes written using the alternative expression dB(A) L_n .

NR

Noise rating level (NR) is a graphical method for assigning a single number rating to a noise spectrum. It can be used to specify the maximum acceptable level in each octave band of a frequency spectrum, or to assess the acceptability of a noise spectrum for a particular application. The method was originally proposed for use in assessing environmental noise, but it is now used in the UK mainly for describing noise from mechanical ventilation systems in buildings.

■ End of Section

Figure 17/0537/SP1



Title: Site plan

Project: Snap Fitness, Clifton

Date: August 2017

Scale: Not to scale

Appendix A

Subject:	Development Plans	
Project:	Snap Fitness, Clifton	
Date:	August 2017	Prepared: LM
Revision:	0	Approved: NJ

A1 Development Plans

A1.1 This appendix contains the following existing and proposed plans, elevations and mechanical services drawings produced by Delta Bravo for the development scheme:

- DB-SF 414-EX02 Existing first floor plan
- DB-SF 414-EX03 Existing elevations
- DB-SF 414-EL06 Proposed elevations
- DB-SF 414-GA05 Proposed first floor arrangement
- DB-SF 414-HVAC10 Proposed AC and ventilation plan

GROSS INTERNAL AREA

413 sq.m.
4445.5 sq.ft.

413 sq.m.
4445.5 sq.ft.

The diagram illustrates a scale bar and a corresponding stepped profile. The scale bar is marked with 0, 1, and 5m. The profile below it shows a series of steps, with the first step being the tallest and the subsequent steps being shorter and wider.

NOTES:
CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE
COMMENCEMENT OF ANY WORK OR PREPARING
MANUFACTURING DRAWINGS
DO NOT SCALE FROM THIS DRAWING
ANY DISCREPANCIES ON THIS DRAWING ARE TO BE
NOTIFIED TO THE DESIGNER IMMEDIATELY

DELTA BRAVO LIMITED

Academy House
London Road
Camberley
Surrey
GU15 3HL

TITLE	EXISTING FIRST FLOOR PLAN
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DRAWING No	REVISION
DB-SF 414-EX02	

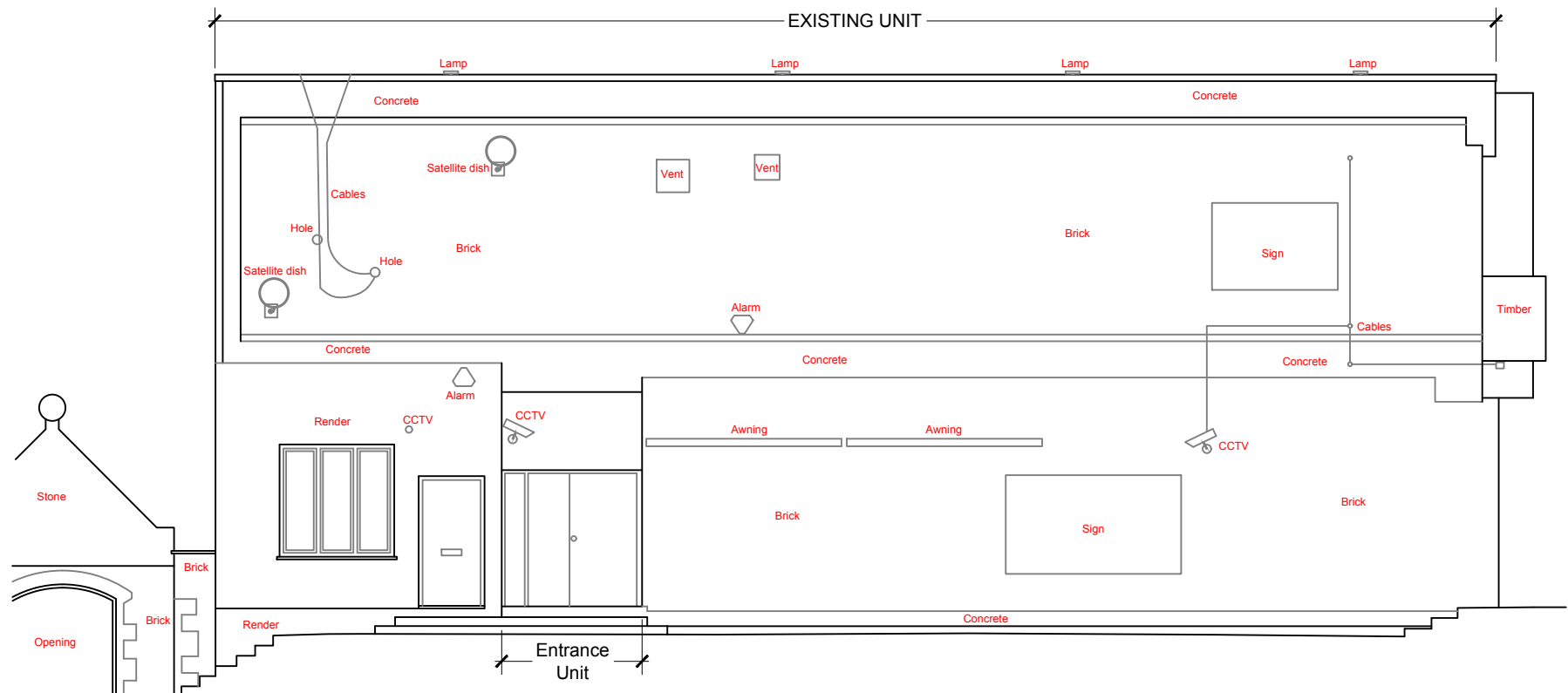
Elevation A

Elevation D

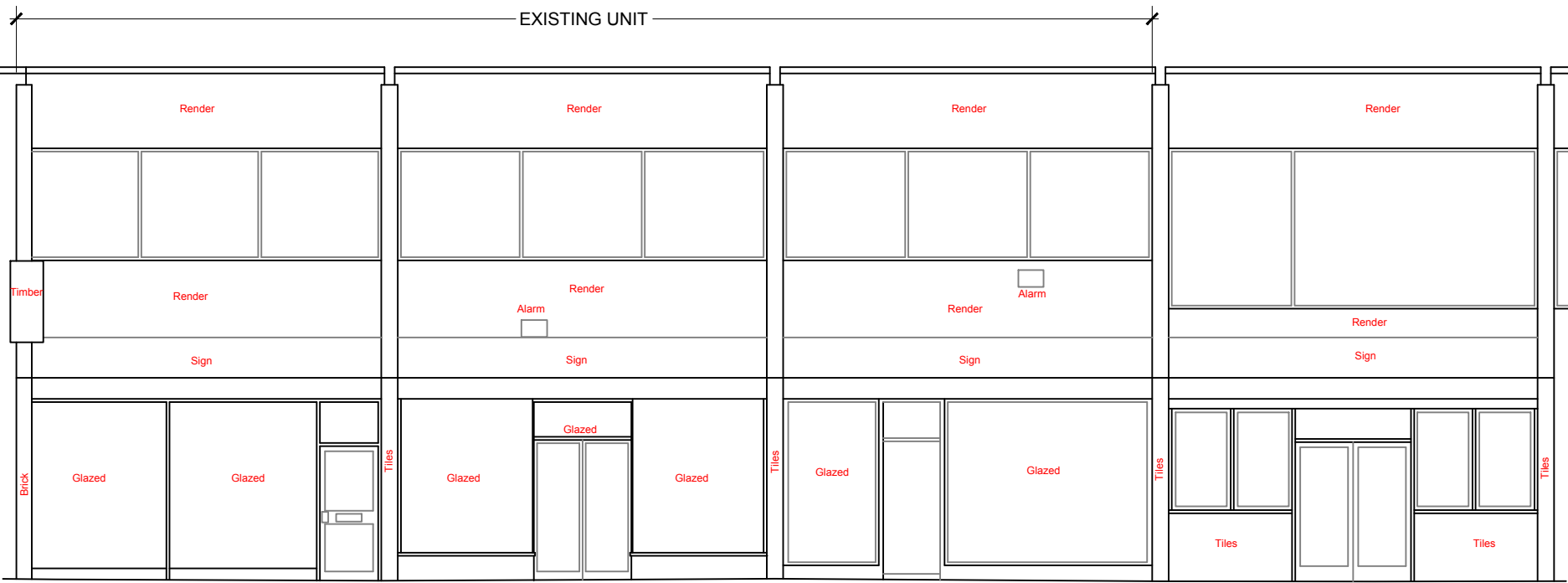
Elevation B

FF. AREA
413 sq.m.
3767.37 sq.ft.

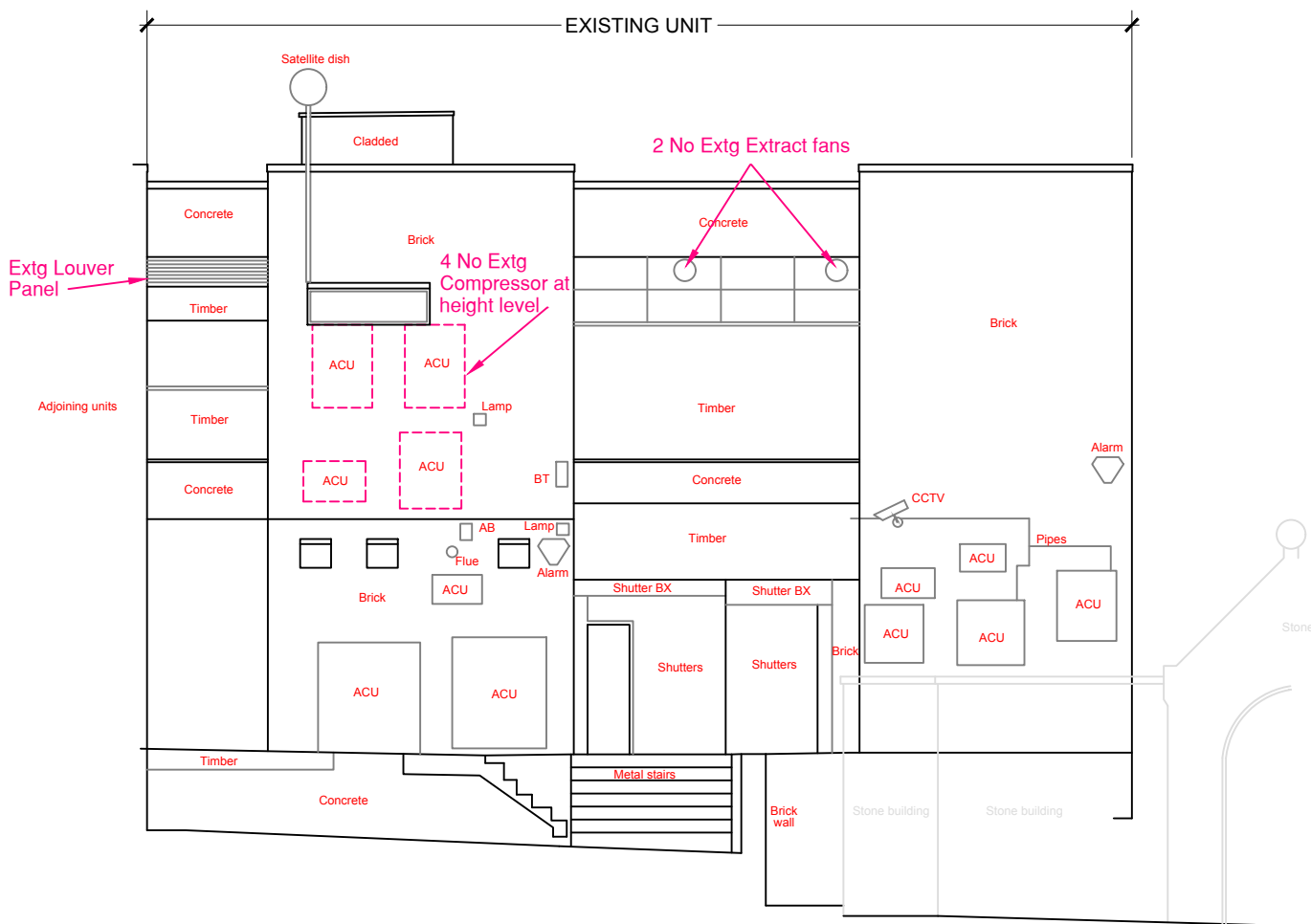
PLAN AND ELEVATIONS REPRODUCED FROM SURVEY SOLUTIONS DRAWINGS NOS. 19829CV-01 PROVIDED TO DELTA BRAVO LTD , ON THE UNDERSTANDING THAT THEY ARE TO BE USED FOR THIS PURPOSE. DELTA BRAVO LTD ACCEPT NO RESPONSIBILITY FOR ANY ERRORS, INACCURACIES OR OMISSIONS IN THE INFORMATION SHOWN ON THE ORIGINAL DRAWINGS OR FOR ANY PROBLEMS THAT MAY ARISE FROM THE SUBSEQUENT USE OF SUCH INFORMATION. FUTURE REVISION OF THE LANDLORD'S OR DEVELOPER'S ARCHITECT'S DRAWINGS MAY AFFECT THE INFORMATION SHOWN ON THIS DRAWING - "AS-BUILT" UNIT MUST BE CHECKED AGAINST THE DRAWINGS PRIOR TO ORDERING MATERIALS, OR COMMENCING FABRICATION OR CONSTRUCTION.



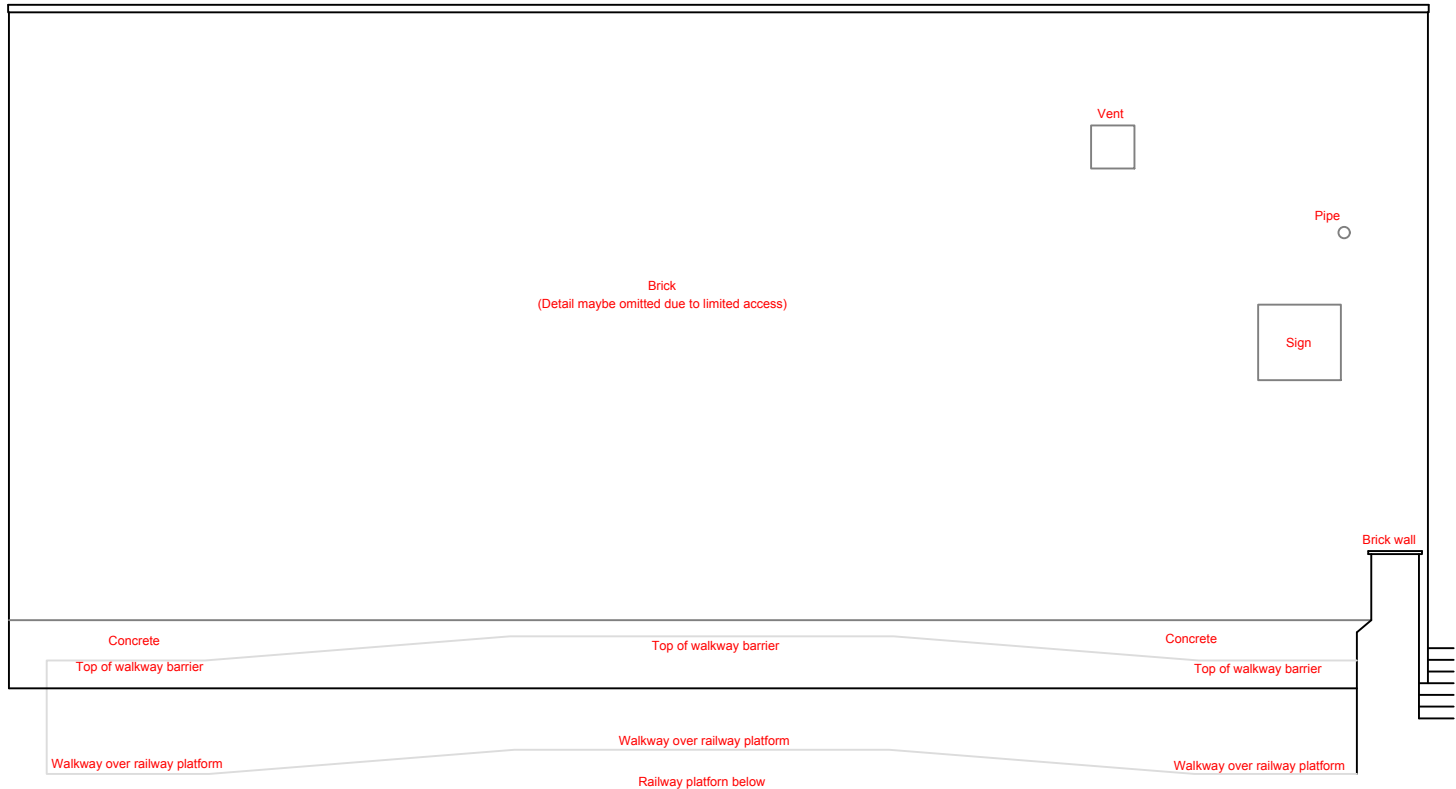
EXISTING SIDE ELEVATION A (SOUTH)



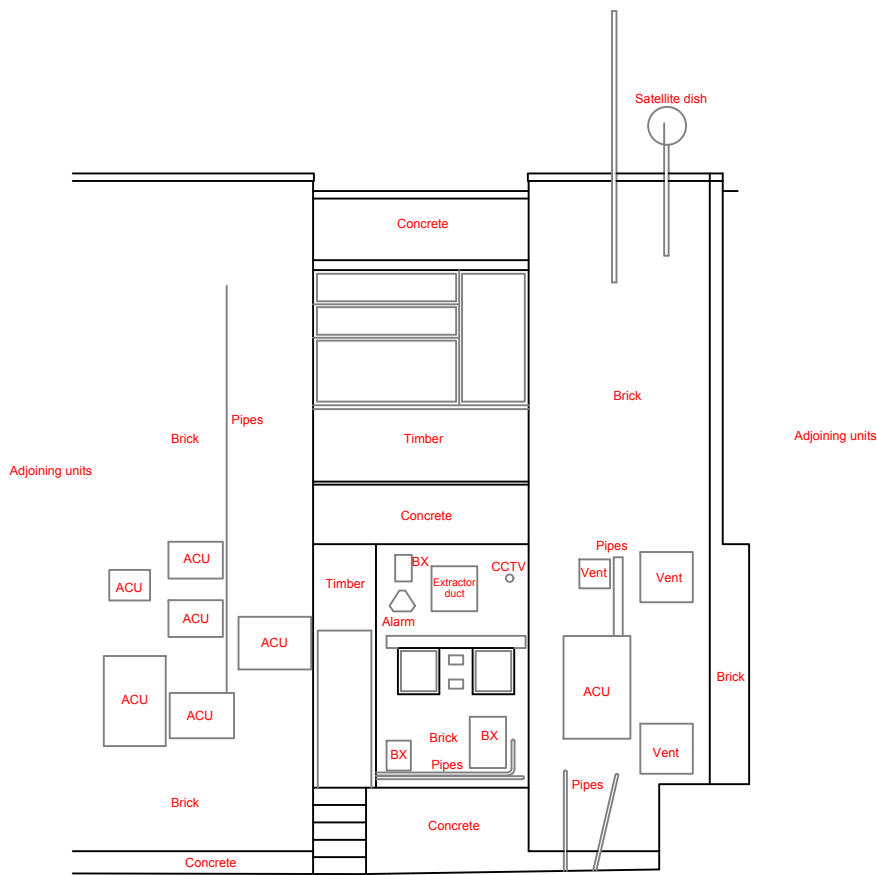
EXISTING FRONT ELEVATION B (EAST)



EXISTING REAR ELEVATION D (NORTH)



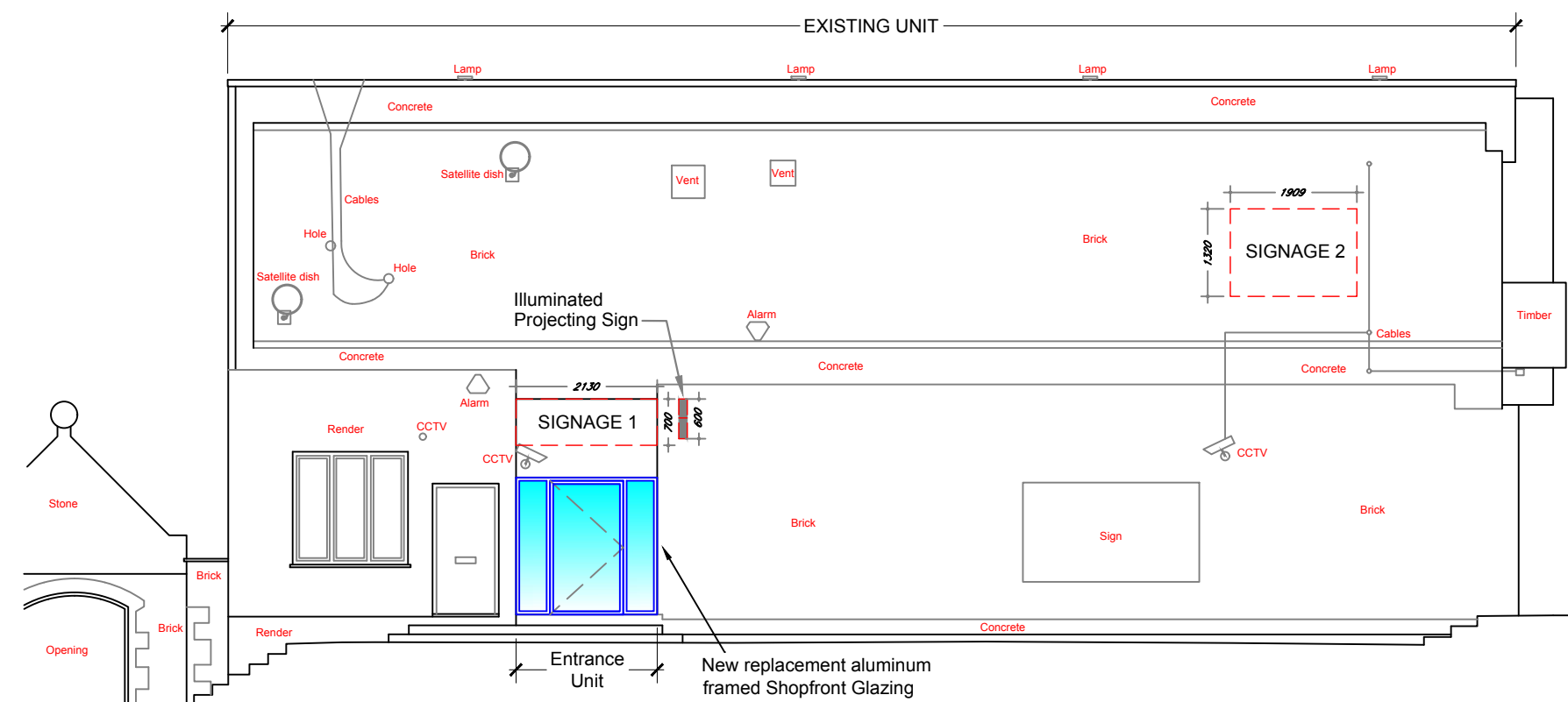
EXISTING SIDE ELEVATION C (WEST)



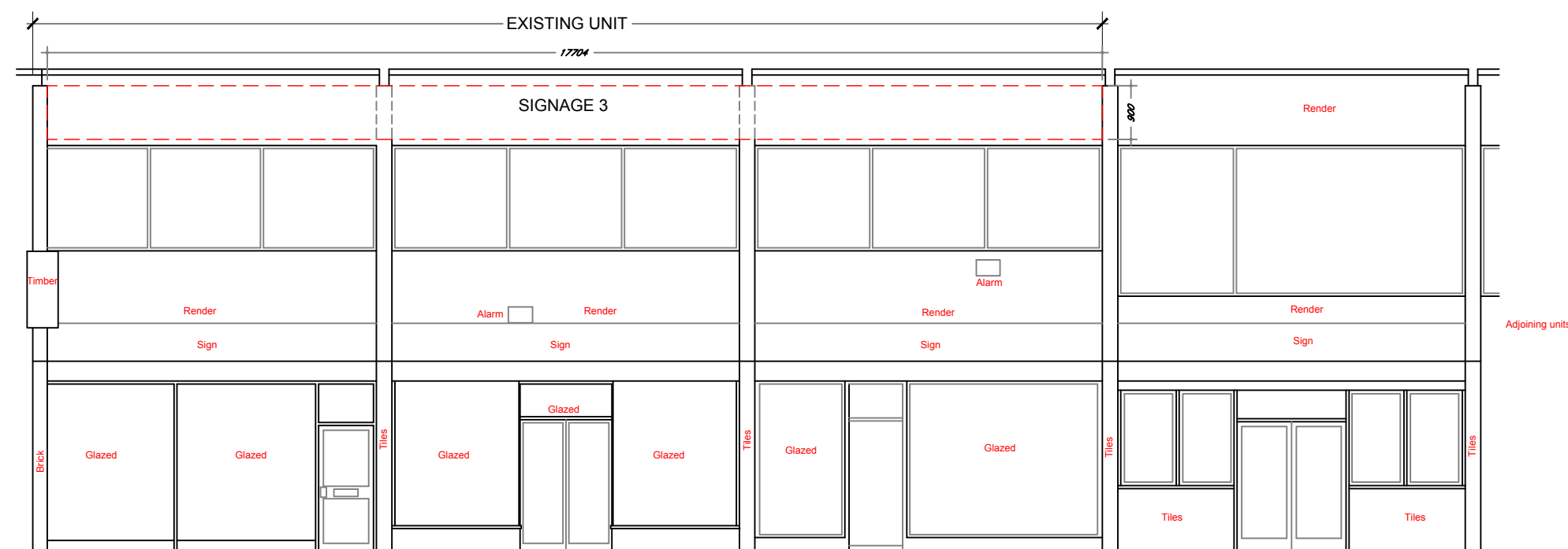
EXISTING SIDE ELEVATION E (WEST)

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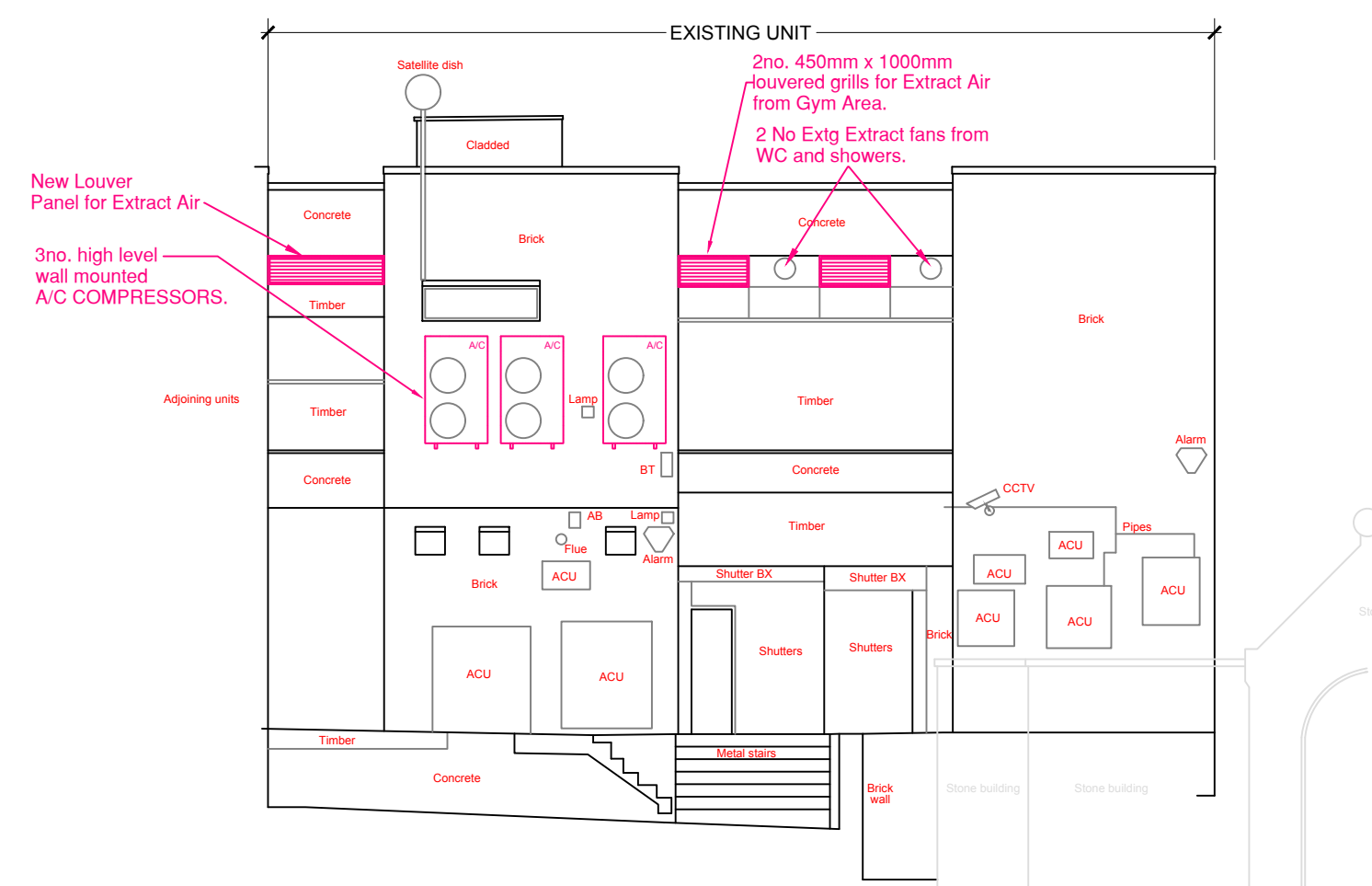
PLAN AND ELEVATIONS REPRODUCED FROM INSPIRE ARCHITECT'S DRAWINGS NOS. 1102.11.301 PROVIDED TO DELTA BRAVO LTD BY THE LANDLORD OR DEVELOPER, OR THEIR ARCHITECT, ON THE UNDERSTANDING THAT THEY ARE TO BE USED FOR THIS PURPOSE. DELTA BRAVO LTD ACCEPT NO RESPONSIBILITY FOR ANY ERRORS, INACCURACIES OR OMISSIONS IN THE INFORMATION SHOWN ON THE ORIGINAL DRAWINGS OR FOR ANY PROBLEMS THAT MAY ARISE FROM THE SUBSEQUENT USE OF THE INFORMATION. A FUTURE REVISION OF THE LANDLORD'S OR DEVELOPER'S ARCHITECT'S DRAWINGS MAY AFFECT THE INFORMATION SHOWN ON THIS DRAWING - "AS-BUILT" UNIT MUST BE CHECKED AGAINST THE DRAWINGS PRIOR TO ORDERING MATERIALS, OR COMMENCING FABRICATION OR CONSTRUCTION.



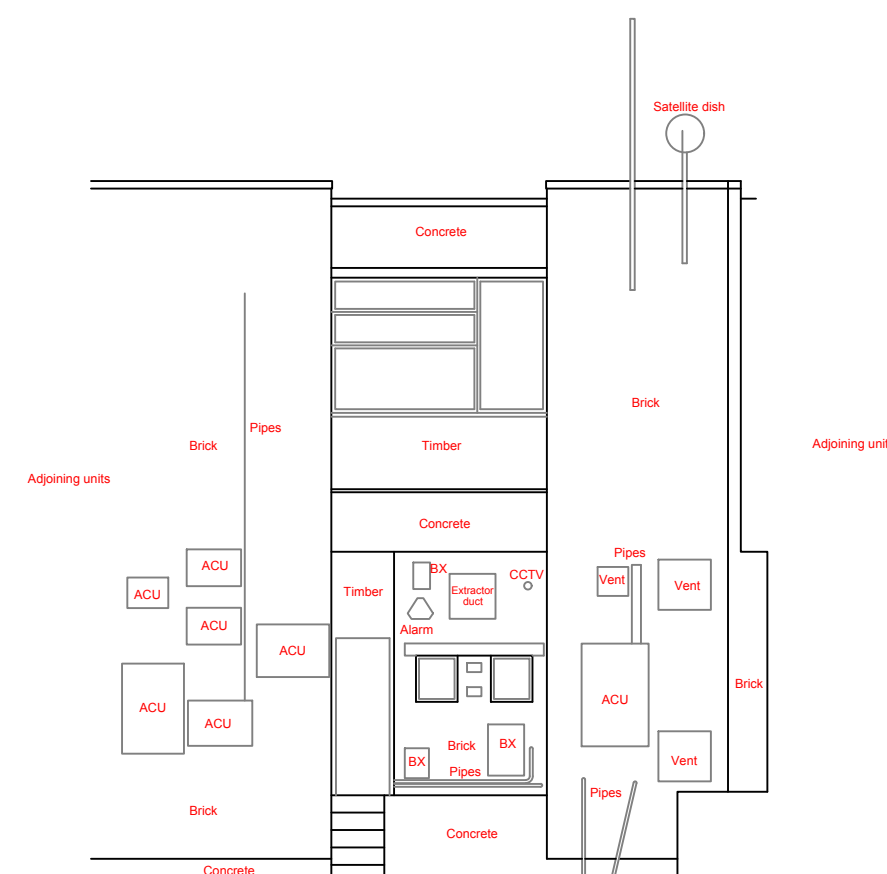
PROPOSED SIDE ELEVATION A (SOUTH)



PROPOSED FRONT ELEVATION B (EAST)



PROPOSED REAR ELEVATION D (NORTH)



PROPOSED SIDE ELEVATION E (WEST)



PROPOSED SIDE ELEVATION C (WEST)

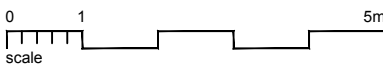
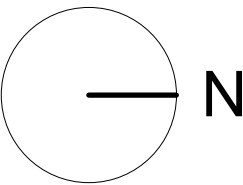
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GROSS INTERNAL AREA

413 sq.m.
4445.5 sq.ft.

- existing walls
- existing partitions
- ceiling height
- s/c ceiling height
- existing beam height
- window cill & head height



REV	AMENDMENT	DATE
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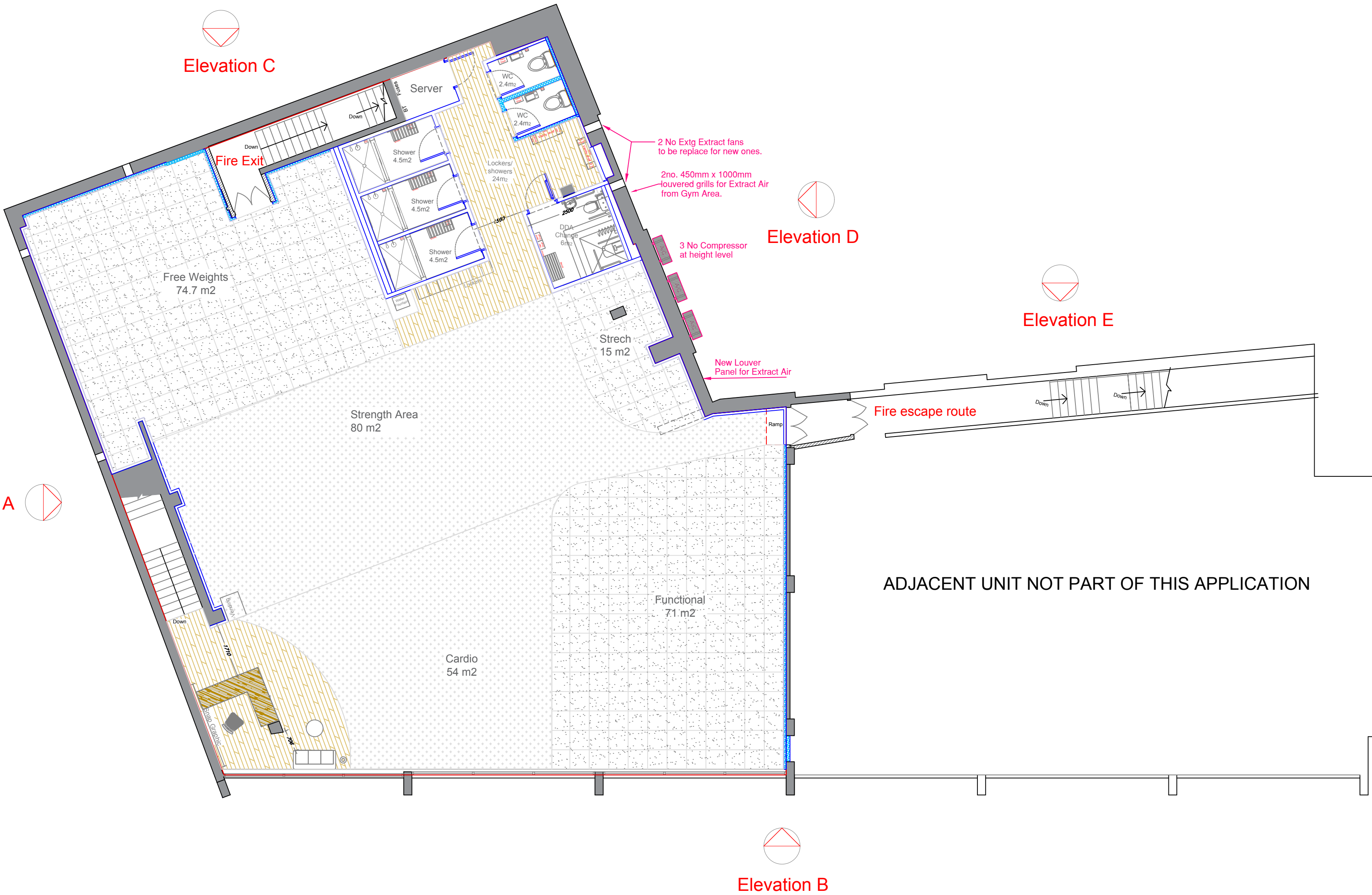
NOTES:
CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCEMENT OF ANY WORK OR PREPARING MANUFACTURING DRAWINGS
DO NOT SCALE FROM THIS DRAWING
ANY DISCREPANCIES ON THIS DRAWING ARE TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY



DELTABRAVO LIMITED
DESIGN * CONSTRUCTION * SHOPFITTING * PROJECT MANAGEMENT

Academy House
London Road
Camberley
Surrey
GU15 3HL

CLIENT SNAP FITNESS		
PROJECT Clifton Down Station, White Ladies Road, Bristol, BS8 2PH		
TITLE GENERAL ARRANGEMENT FLOOR PLAN		
SCALE @ A2 1:100 @A2	DRAWN BY M W	DATE 28.06.17
DRAWING No DB-SF 414-GA05		REVISION



DISCLAIMER - Proposed plans & elevations have been prepared on the basis of drawings 19829CV-01 provided by Survey Solution and accept no liability for the accuracy or completeness of the original drawings.

Elevation C

Elevation D

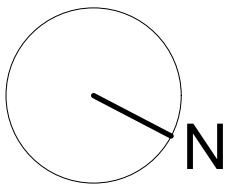
Elevation E

Elevation A

Elevation B

GROSS INTERNAL AREA

413 sq.m.
4445.5 sq.ft.



PLAN AND ELEVATIONS REPRODUCED FROM SURVEY SOLUTIONS DRAWINGS NOS. 19829CV-01 PROVIDED TO DELTA BRAVO LTD ON THE UNDERSTANDING THAT THEY ARE TO BE USED FOR THIS PURPOSE. DELTA BRAVO LTD ACCEPT NO RESPONSIBILITY FOR ANY ERRORS, INACCURACIES OR OMISSIONS IN THE INFORMATION SHOWN ON THE ORIGINAL DRAWINGS OR FOR ANY PROBLEMS THAT MAY ARISE FROM THE SUBSEQUENT USE OF SUCH INFORMATION. FUTURE REVISION OF THE LANDLORD'S OR DEVELOPER'S ARCHITECT'S DRAWINGS MAY AFFECT THE INFORMATION SHOWN ON THIS DRAWING - "AS-BUILT" UNIT MUST BE CHECKED AGAINST THE DRAWINGS PRIOR TO ORDERING MATERIALS, OR COMMENCING FABRICATION OR CONSTRUCTION.

VENTILATION:
N.B. LAYOUT SHOWN IS INDICATIVE ONLY. DETAILED DESIGN TO BE CARRIED OUT BY SPECIALIST SUB-CONTRACTORS TO SATISFY LOCAL AUTHORITY AND ENVIRONMENTAL HEALTH OFFICER.

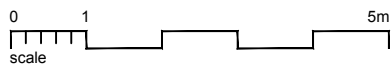
AIR CONDITIONING (CONTRACTOR DESIGN):- Split ceiling mounted cassette unit in Fitness area, with external compressor unit floor mounted and linking pipework and cables.

MECHANICAL EXTRACTION FROM (CONTRACTOR/SPECIALIST DESIGN):- Detail design to satisfy EHO and LA requirements. shall be provided with mechanical supply and extract ventilation systems to generate suitable air flow rates with each area in accordance with CIBSE guidelines. New galvanized steel extract duct from toilets and shower rooms, with internally mounted extract fan (capable of at least 40 air changes per hour). All fixings to have anti-vibration mounts. Duct to pass above finished ceiling as shown to exhaust at external high level grilles. Grilles penetration to be weathered. Grilles to be painted to match external wall.
Heat Recovery Units installed in Fitness area to supply fresh air and extract air.
Extract system to be connected to extract duct upstream of fan in accordance with manufacturers instructions.

SUPPLY AIR (CONTRACTOR/SPECIALIST DESIGN):- All internal rooms to be provided with forced fresh air via external supply air fan and ductwork at the rate of 10 l/sec/occupant. Shower Rooms 6ach/hr and WC 6 ach/hr. Fresh air system to be designed to replace 80% of extract air volume with fresh air with a max. velocity of 2.5m/sec. accessible fresh air filter ductwork with ceiling mounted diffusers, axial flow fan, dampers in fire walls, and external wall intake louver with min. free area of 50% and bird/rodent guard. Extraction is to be via the main ventilation system (min. 40 air changes/hour).

FIRE/SMOKE DAMPERS :- To be installed in all ductwork passing through fire resisting or compartment walls, ceilings and floors. Duct to be separated from combustible materials by a minimum of 25mm of non-combustible insulation.
N.B. Dampers in ductwork passing through lines of fire resistance on a protected escape route are to include a link to automatically close on activation of the fire alarm.

NOTE - Detailed design of extract ventilation system and air intake system by Specialist sub-contractor. Layout shown on drawing is indicative only.



REV	AMENDMENT	DATE
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NOTES:
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DO NOT SCALE FROM THIS DRAWING
ANY DISCREPANCIES ON THIS DRAWING ARE TO BE NOTIFIED TO THE DESIGNER IMMEDIATELY



DELTABRAVO LIMITED

DESIGN * CONSTRUCTION * SHOPFITTING * PROJECT MANAGEMENT

Academy House
London Road
Camberley
Surrey
GU15 3HL

CLIENT
SNAP FITNESS

PROJECT
**Clifton Down Station, White Ladies Road,
Bristol, BS8 2PH**

TITLE
PROPOSED AC AND VENTILATION PLAN

SCALE @ A2
1:100 @A2

DRAWN BY
M W

DATE
19.07.17

DRAWING No
DB-414-HVAC10

REVISION

Internal Air Conditioning Cassette Legend	
Toshiba System 1	
	MODEL RAV-SM1404UT WEIGHT 28 KG DIMENSIONS 320H x 950W x 950D dB(A) 44 POWER From Outdoor FUSE 5amp PIPES 5/8 & 3/8
Toshiba System 2	
	MODEL RAV-SM1604UT WEIGHT 28 KG DIMENSIONS 320H x 950W x 950D dB(A) 44 POWER From Outdoor FUSE 5amp PIPES 5/8 & 3/8
Toshiba System 3	
	MODEL RAV-SM1604UT WEIGHT 28 KG DIMENSIONS 320H x 950W x 950D dB(A) 44 POWER From Outdoor FUSE 5amp PIPES 5/8 & 3/8
External Air Conditioning Condenser Legend	
Toshiba System 1	
	MODEL RAV-SM1404DT WEIGHT 93 KG DIMENSIONS 1340H x 900W x 320 D dB(A) 44 POWER 1 PHASE AND N FUSE 32AMP PIPES 5/8 & 3/8
Toshiba System 2	
	MODEL RAV-SM2804DT WEIGHT 134 KG DIMENSIONS 1540H x 900W x 320 D dB(A) 58 POWER 3 PHASE AND N FUSE 20AMP PIPES 3/4 & 3/8
Toshiba System 3	
	MODEL RAV-SM2804DT WEIGHT 134 KG DIMENSIONS 1540H x 900W x 320 D dB(A) 58 POWER 3 PHASE AND N FUSE 20AMP PIPES 3/4 & 3/8
Heat Recovery Unit Toshiba System 4	
	MODEL VN-M1000HE WEIGHT 143 KG DIMENSIONS 1189H x 1189W x 400D dB(A) 40.5 POWER 1 PHASE FUSE 10AMP DUCT 250

VENTILATION LEGEND:-

	Extract grille in open ceiling
	Fresh air supply grille in suspended ceiling 600mm X 600mm
	125 l/sec extract grille
	Single Blade Damper
	Air Conditioning Cassette Unit

ADJACENT UNIT NOT PART OF THIS APPLICATION

Appendix B

Subject: Existing Snap Fitness Noise Levels
Project: Snap Fitness, Clifton
Date: August 2017

B1 Introduction

- B1.1 In order to inform noise assessments of potential future SNAP fitness gyms the level of noise present in a typical existing SNAP fitness gym have been quantified. Noise source vary including patron activity, gym equipment, music from the built in sound system as well as music from temporary (portable) sound systems used for separate exercise classes.

B2 Noise Survey

Methodology

- B2.1 A noise survey was undertaken on Monday 8th August 2016. Measurements were made in the existing SNAP fitness gym at the Windsor branch. The survey was conducted on a Monday evening which is understood to typically be one of the busiest days and times of the week.
- B2.2 Measurements were made in three separate areas defined by the layout of the gym. These were:
- Studio room
 - 'Cardio' and pin weights machines open plan area
 - Free weights open plan area
- B2.3 The studio room was a smaller, separate room approximately 5x8m in footprint. This room is only used for private instruction and small group exercise classes.
- B2.4 The 'cardio' and pin weights area is an open plan part of the gym with various machines including running, cycling, cross trainer, etc as well as pin type weights machines and a small stretching area.
- B2.5 The free weights area was also open plan, partially open to the 'cardio' area but contained predominately free weights and associated equipment.
- B2.6 Noise reading were made with 2 noise monitors, the equipment utilised was as follows:



Item	Manufacturer	Type
Sound Level Analyser (x2)	Norsonic	118
Acoustic Calibrator (x2)	Norsonic	1251

T1 Equipment used during noise survey.

- B2.7 The survey equipment was calibrated before and after the survey and no significant drift was noted to have occurred.

Activities

Studio

- B2.8 Measurements in the studio were unattended with the monitor set up towards the side of the room, towards the middle of the main length. This position was chosen as it was not in the way and the noise climate was relatively uniform across the space. The flooring was a vinyl finish with an acoustically absorptive lay-in-grid ceiling throughout. The readings covered the entirety of a 'power circuits' class where 5-6 people plus the instructor were present. The main noise source was the portable sound system which was turned up to a relatively high level. In addition, the staff member was giving non-amplified vocal instruction over this music.
- B2.9 Measurements started at 18:00 while the room was empty, with the class starting at around 18:15 with the music turned up from 18:20. The music finished at around 18:43 with the class ending soon after and only people talking beyond that time until the end of the survey period. Measurements were made over continuous 1 minute periods from 18:00 until 19:00.

Cardio and pin weights machines area

- B2.10 Readings in the cardio area were made by moving the microphone around the large open plan area. Readings were concentrated in the more heavily occupied areas. The majority of the activity was on the cardio type machines with the pin weight machines only lightly used. Some noise from the free weights area was audible as the spaces join each other. The flooring in the space was a low pile carpet, with an acoustically absorptive lay-in-grid ceiling.
- B2.11 Three separate readings all of 5 minute of duration were made at 17:55, 19:10 and 19:20. The main noise source was the built in sound system which continually plays music, although not at a particularly high level. When in close proximity, noise from equipment such as running and rowing machines were the main sources. There were approximately 10 to 15 people using equipment in the area throughout the readings.

Free weights area

- B2.12 Measurements in the free weights area were made at a single position towards the side of the room, central along the width of the room. Average noise levels were generally low, again

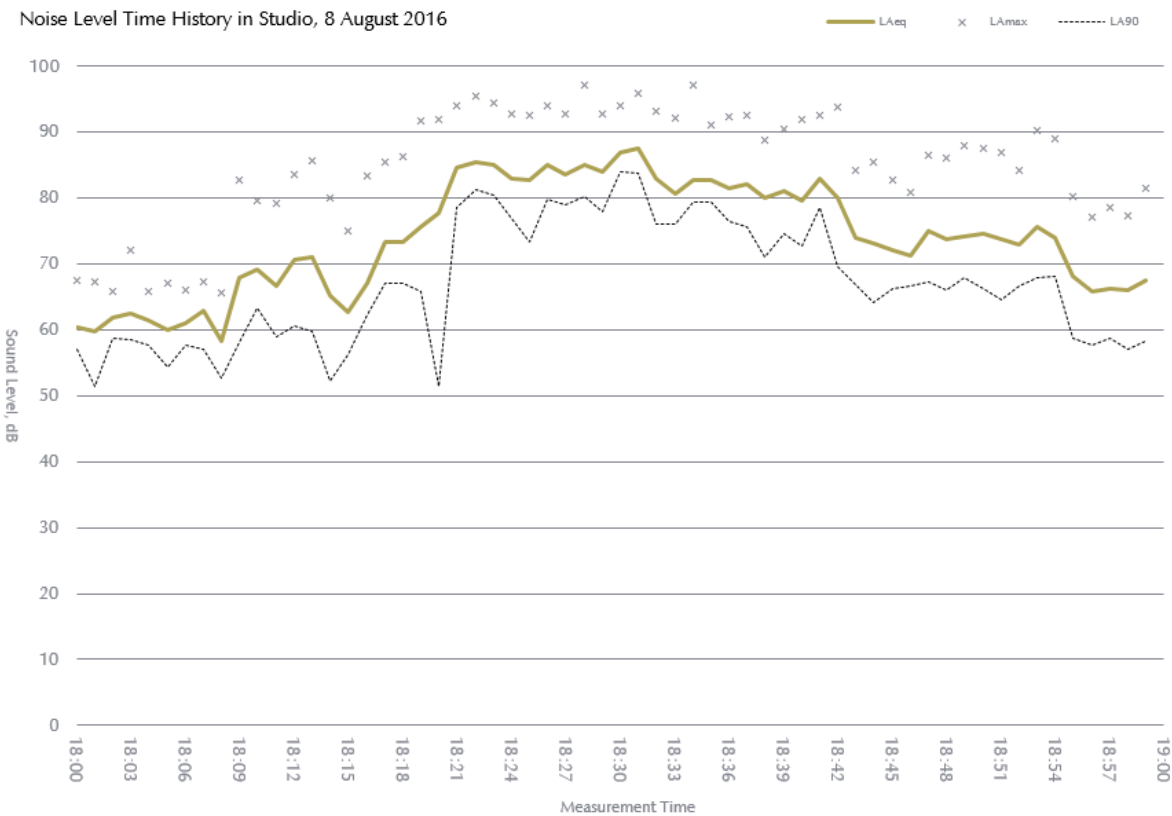


being dominated by music on the built in system; however, the main noise source was short term maximum events when weights were being dropped or placed back into racks. The flooring in the space was a rubber matting tile, with an acoustically absorptive lay-in-grid ceiling.

B2.13 Readings were made over continuous 1 minute periods from 18:05 until 19:25, covering a busy period of use.

B3 Results

B3.1 The results of the measurements taken in the studio are shown in graphical form below. The 1minute data has been presented.



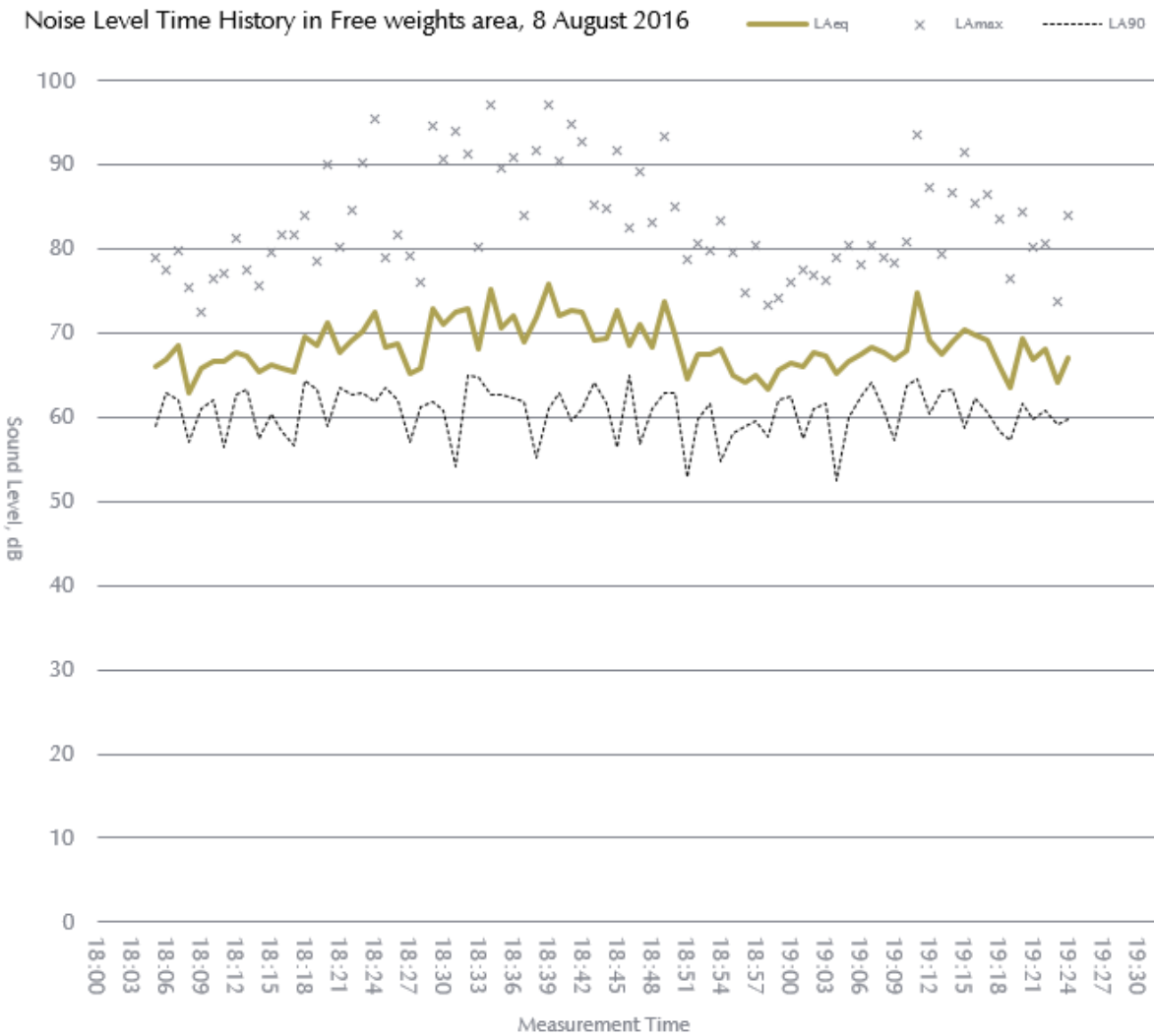
B3.2 The results of the measurement in the cardio area are presented in the table below.



Time	L _{Aeq}	L _{Amax}	L _{A90}
17:55	69	83	63
19:10	68	85	64
19:20	67	87	61

T2 Cardio area results

B3.3 The results of the measurements taken in the free weights area are shown in graphical form below. The 1 minute data has been presented.





Appendix B

August 2017

- B3.4 The frequency content of the measurements in terms of average and maximum levels is summarised below for different activities and typical events. Full octave band data for all reading is available if required.

Average (L_{eq}) Noise Levels

Area / Activity	L_{eq} (dB) @ Octave Band Centred Frequency (Hz)								dB(A)
	63	125	250	500	1k	2k	4k	8k	
Studio Class (long term)	74	82	80	76	75	68	63	56	79
Studio Class (during music)	78	86	85	81	80	72	67	60	84
Cardio area (typical activity)	66	68	65	65	62	59	57	54	68
Free weights area (typical activity)	69	68	64	64	65	62	61	58	69

T3 Average (L_{eq}) noise level results

Maximum ($L_{max,fast}$) Noise Levels

Area / Activity	L_{max} (dB) @ Octave Band Centred Frequency (Hz)								dB(A)
	63	125	250	500	1k	2k	4k	8k	
Studio (Typical with music on)	84	96	93	90	93	81	77	70	93
Studio (Elevated low frequency event)	90	98	94	90	92	81	76	73	93
Studio (Elevated high frequency event)	85	95	92	92	96	88	78	73	96
Cardio Area (Typical activity without weights being dropped)	74	76	74	77	79	81	79	71	86
Free weights area (Average level)	82	79	78	78	79	75	74	70	83
Free weights area (Elevated low frequency event)	93	86	83	90	87	79	76	72	90
Free weights area (Elevated high frequency event)	84	79	76	77	95	89	85	81	97

T4 Maximum (L_{max}) noise level results



B4 Conclusion

- B4.1 Noise readings have been made at an existing SNAP fitness gym in Windsor. Levels of various activities in different areas of the gym were made; including in a studio space (exercise class) in a cardio and pin weights machines area and in a free weights area.
- B4.2 Readings were made during a busy period representing typical activities undertaken at such gyms. Long term and short term readings were made and suitable average, typical and maximum noise levels have been quantified. Frequency spectra of the different activities has also been presented.

 End of Section

Appendix C

Subject:	Music Noise Guidance	
Project:	Snap Fitness, Clifton	
Date:	August 2017	Prepared: LM
Revision:	0	Approved: NJ

C1 National Guidance

- C1.1 There is general planning guidance in terms of noise set out in national planning documents such as the National Planning Policy Framework (NPPF), Noise Policy Statement for England (NPSE) and advice is also contained within published Planning Practice Guidance (PPG). However, the national guidance does not contain specific technical criteria to achieve and one must therefore consider other references and sources applicable to this scheme.
- C1.2 The use as a gym might imply that music will be the main noise source, but it is not a public entertainment venue such as a pub or club. Nor is music noise an industrial source like plant equipment.
- C1.3 There is no specific technical guidance we are aware of assessing the impact of gym noise on external receivers. We therefore look to some standards that are associated with music noise.

C2 IOA Pubs and Clubs guidance

- C2.1 The Institute of Acoustics publication “*Good practice guide on the control of noise from pubs and clubs*” provides guidance which is appropriate for use in this instance. A working draft Annex on Criteria, Measurement Guidelines and Other Information was published in the IOA Bulletin Vol.28 No.6 in November 2002. This document proposed various noise emission criteria from entertainment venues, dependent upon the frequency of occurrence of relevant events:

A2.1 Venues where entertainment takes place less than 30 times per year, not more than once in a single week, and end by 2300 hours. It is recommended that the criteria and measurement procedures set out in the Code of Practice on Environmental Noise Control at Concerts be applied (see Section 3, Note 5 to Table 1, p.6 of this Code of Practice). In effect, this means that the $L_{Aeq,15min}$ of the entertainment noise (the ‘music noise level’), should not exceed the representative background level L_{A90} (without entertainment noise) by more than 5 dB measured 1 metre from the external façade of a noise-sensitive property.



Music Noise Guidance

A2.2 Venues where entertainment takes place more than 30 times per year, not more than once in a single week and ends by 2300 hours. Criteria applicable for both external and internal assessments at noise-sensitive properties. The L_{Aeq} of the entertainment noise should not exceed the representative background noise level L_{90} (without entertainment noise) by more than 5dB; and the L_{10} of the entertainment noise should not exceed the representative background noise level L_{90} (without entertainment noise) by more than 5dB in each third octave band between 40Hz and 160Hz. If the above criteria are met entertainment noise is generally audible but not overly intrusive inside noise-sensitive property.

A2.3 Venues where entertainment takes place more than once per week or continues beyond 2300 hours. Criteria applicable for both external and internal assessments at noise-sensitive properties. The L_{Aeq} of the entertainment noise should not exceed the representative background noise level L_{90} (without entertainment noise), and the L_{10} of the entertainment noise should not exceed the representative background noise level L_{90} (without entertainment noise) in any $1/3$ octave band between 40Hz and 160Hz. If the above criteria are met entertainment noise will be virtually inaudible inside noise sensitive property.

- C2.2 It is noted that assessment of $1/3$ octave band performances is often hindered by lack of good quality data at planning stage. Because of this known issue, alternative guidance has been set by at least one other local planning authority. Details of Manchester City Council's policy is noted in the following section.

C3 MCC / Moorhouse / DEFRA NANR45 Guidance

- C3.1 Manchester City Council document 'Planning & Noise – Technical Guidance' (December 2015) was prepared by their own environmental protection and environmental health departments and covers a number of different topics in relation to noise.
- C3.2 Of particular note from this document is section 3.6.1.2 related to 'Entertainment Venues'. It notes that the overall (dBA) noise levels should be considered as well as the frequency content, but in whole octave bands.
- C3.3 The document notes that for new accommodation proposed near to existing noise source:
'Music noise levels in the 63Hz and 125Hz octave centre frequency bands (L_{eq}) should be controlled so as not to exceed (in habitable rooms) 47dB and 41dB (L_{eq}), respectively'.
- C3.4 Where noise sensitive accommodation is existing and new noise sources are proposed, the document goes on to state the following guidance:
'Entertainment noise (L_{Aeq}) should be controlled to 10dB below the background noise level (L_{A90}) without the entertainment noise present, in each octave band at the nearest noise sensitive location'.
- C3.5 The MCC guidance also makes reference to the noise levels of NR15 (L_{eq}) at the lowest frequencies, but notes that this is too stringent at mid to high frequencies. It also references a



Music Noise Guidance

research paper by Moorhouse (Procedure for the assessment of low frequency noise complaints). This is the basis of the 63Hz and 125Hz limits noted above. The Moorhouse document was prepared as part of a DEFRA study under contract NANR45.

C3.6 The limits proposed by MCC in line with the NANR45 document are to apply internally and not externally. We note that previous case law has suggested higher levels of NR20 may be applicable for new residential dwellings, which would support the MCC statement that NR15 may be too stringent at mid to high frequencies.

C3.7 In terms of applying to existing residents where a new noise source is proposed, the MCC document goes on to note that:

Even though the Moorhouse curve does not specifically relate to entertainment noise (as per the caveat in the revised edition) these levels provide a good practical basis to assess low frequency music noise. They also provide a workable prediction for planning applications and a measurement method and assessment for in-situ low frequency issues in existing habitable spaces.

C4 Proposal

C4.1 Based upon the above referenced guidance documents, we propose the following noise limits should apply, internally, for this proposed scheme to noise sensitive accommodation:

Music noise (L_{Aeq}) should be controlled to 47dB and 41dB L_{eq} at 63Hz and 125Hz respectively with the remaining higher frequencies to not exceed NR20, as assessed internally to any noise sensitive habitable room.

C4.2 We note that the above guidance is specific to this particular site and this set of circumstances. The suggested criteria may not be appropriate to other sites of similar uses, depending on the situation and context.

C4.3 The values noted above are set as internal levels to achieve. It is a well-established that that a partially open window will provide 10-15dBA reduction in noise level from outside to inside. The above values have therefore been relaxed (i.e. increased) by 13dB in each octave band to set external noise limits.

C4.4 For completeness, the following table sets out the suggest noise limits (also with details of the Moorhouse / NANR45 and NR20 values):

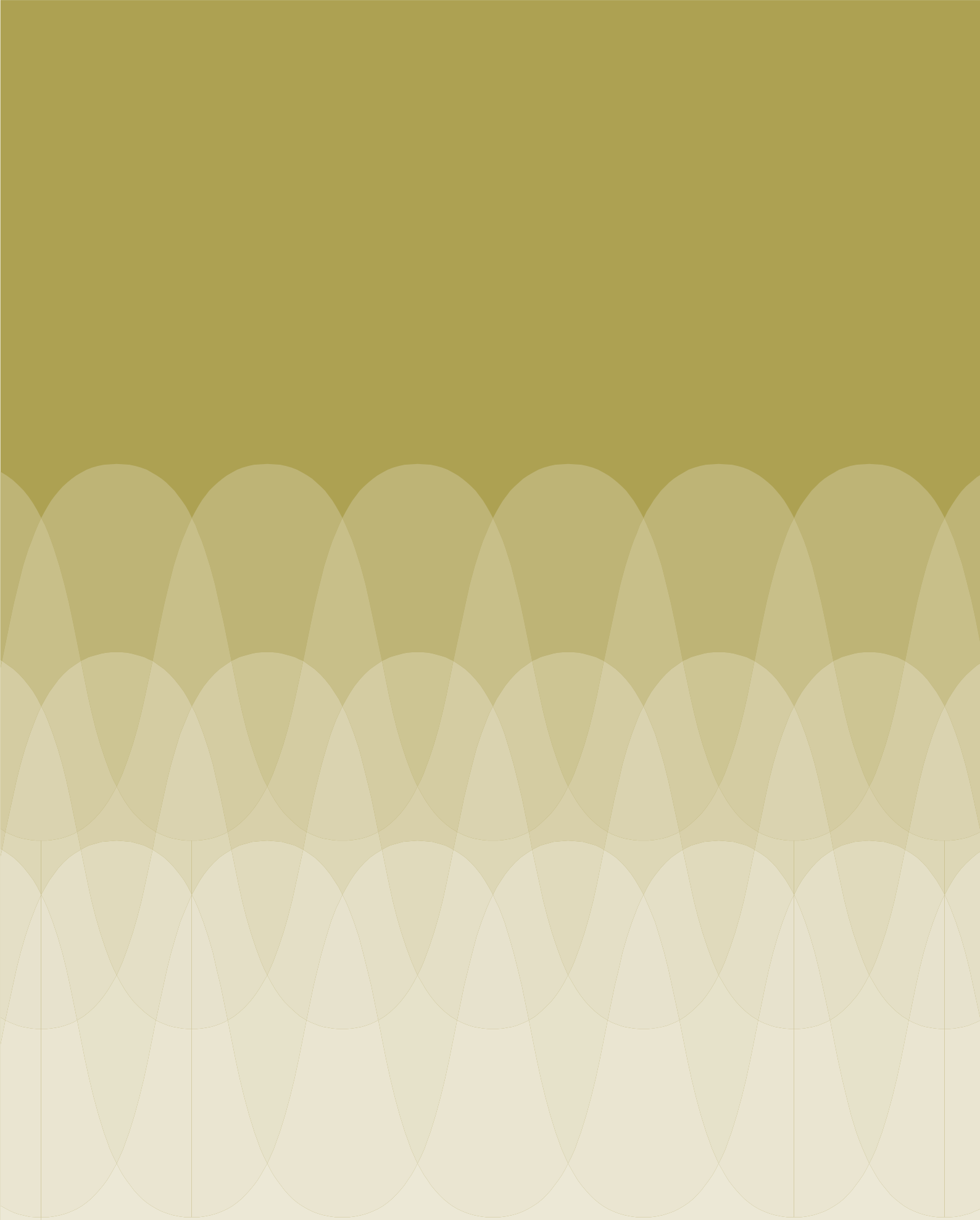


Music Noise Guidance

Parameter	Leq (dB) @ Octave Band Centred Frequency (Hz)							
	63	125	250	500	1k	2k	4k	8k
NR20	51	39	31	24	20	17	14	13
Moorehouse / NANR45	47	41	-	-	-	-	-	-
Suggested Internal Noise Limit	47	41	31	24	20	17	14	13
Suggested External Noise Limit	60	54	44	37	33	30	27	26

T1 Noise Levels

■ End of Section



Memorandum

Project: Snap Fitness, Clifton
Subject: Noise Matters
Prepared: Lee Montague
Date: 06 October 2017
Reference: 17/0537/M1 **Revision:** 0 **Approved:** NJ

1 Introduction

- 1.1 This memo provides responses to concerns raised via the planning department (understood to originate from Cllr Denyer) prior to the forthcoming planning committee hearing. It should be noted that a full noise assessment report has been provide as part of the planning application (Cole Jarman report 17/537/R01).
- 1.2 We understand that the environmental health department of Bristol City Council have reviewed the assessment and are satisfied with its findings. The issues this memo addresses, raised via the planning department have not been raised as concerns by the environmental health department to date as far as we are aware.

2 Departing and Arriving Customers

- 2.1 The site is located at a busy high street location amongst other commercial premises. It was formerly a night club that operated into the early hours with potentially large number of people entering and exiting at night time hours. Patrons of the gym are more likely to arrive and depart individually rather than in groups as would be associated with a night club. The closest residences from the entrance of the gym are on the opposite side of Whiteladies Road and given the underlying noise in such an urban area, pedestrian activity of patrons of a gym on the far side of a main road are not expected to be of any significance.

3 Parking / Vehicle Movements

- 3.1 Regarding the issues of parking, we understand that there are a number of public parking bays on the main road (Whiteladies Road) what are unrestricted between the hours of 1700-0900. It is likely that people visiting the site within these evening, night and early morning hours would utilise such free parking which is in close proximity and easily accessible to the proposed gym. Side roads are effectively further away from the gym entrance than these parking areas on Whiteladies Road, and we would therefore expect people to park on the main road during such times.



Noise Matters

- 3.2 For clarity, the parking area directly to the rear of the unit is not for patrons of the gym and is controlled. The other parking in this area parallel to Whatley Road is private parking belong to the University that is not available for patrons of the gym and is subject to their enforcement.
- 3.3 Although the site is proposed for 24-hour use, the majority of users typically arrive in daytime hours. Through the late evening the former use was a night club, and it is highly likely that in such hours there would be a net reduction in car journeys, be it private vehicles or taxis. In the fringe hours of the morning, between 5-7am gym use does pick up. At these time we would expect the levels of traffic in the area to already be increasing, given the urban location. As noted, parking in such hours is available on the main road. Users at these times would likely come from various directions and not all by car, therefore the numbers parking in any one side street are expected to be minimal.

4 Noise Along the Railway

- 4.1 Regarding noise reverberating down the railway line, I would note firstly that noise from a gym is significantly less than that from a night club. Background music is typically relatively low and unlikely to be of a significant magnitude.
- 4.2 Slightly higher noise levels are generally created when specific instructional classes are given by staff, however our existing noise assessment that accompanies the planning application has considered such worst case noise levels, assessed to the very closest residential receivers to the opposite side of the road (noise mostly coming from the glazing fronting the road). Such classes that do produce these slightly higher noise levels are also only conducted during staffed hours and not through the night during what might be considered more sensitive periods. Nevertheless, we have assessed to the lowest noise limit (suitable for night time assessment) based upon worst case highest music noise levels and found the results to be acceptable. This demonstrates that limiting the hours of music is not necessary.
- 4.3 Even if noise did make its way to the railway lines, such positions are further away from the glazed front of the gym than the receivers considered in our assessment. Noise levels reaching the railway lines would be even lower than assessed; so when then assessed at any other receivers, levels would be even further below the noise limits.
- 4.4 The 'rear' façade of the gym which does directly front above the railway lines is a solid wall without any windows. The brickwork and internal linings will significantly reduce noise from inside the gym; the noise itself not being substantial in volume as it is.
- 4.5 Although noise may not dissipate as quickly along the railway lines as it would in open space or in a built up area with building in the way (i.e. within a reverberant corridor), the levels do not increase. Noise entering the corridor of the railways lines at the start would already be within permissible levels, therefore at all other locations away from the lines.
- 4.6 I emphasis the point that noise levels of a gym are nowhere near those of a night club and any noise issues that may have been experienced with the former use as a night club will be significantly reduced. Based upon the magnitude of the music noise in the gym, we would not



Noise Matters

expect significant radiation of noise into the railway lines either vertically through the structure of the building, through the masonry elements of the façade nor significantly via the glazed front of the building.

■ End of Section



SNAP FITNESS MANAGEMENT PLAN – MEMBER CONTROL AND SECURITY

FORMER DORMA NIGHTCLUB, CLIFTON DOWN, WHITELADIES ROAD, BRISTOL

This management plan sets out the procedures that will be in place at the proposed new Snap Fitness Gym, at the former Dorma Nightclub, Clifton Down, Bristol. The plan specifically relates to the measures and steps that are in place to manage and control members, should a member be found to be acting and behaving in an unacceptable manor, both during staffed hours, and when the gym is un manned, as well as general audio activity within the gym.

This plan will set out what procedures, warning stages, and consequences are in place to manage members who act disrespectfully within our business, and to our neighbors, and how our staff will be able to react to any such situation.

STAFFED HOURS OF THE GYM AND CLASSES

The gym will be manned on the following days and hours:

Mon – 8am to 9pm
Tue – 8am to 9pm
Wed – 8am to 9pm
Thur – 8am to 5pm
Fri – 8am to 5pm
Sat – 8am – 1pm

Snap Fitness will run a variety of classes within the gym. The earliest classes would start at 06.15 and the latest classes would start at 20:30. The classes are scheduled around peak times, such as before and after work. There are more classes during the weekdays than on weekends. During the weekends, classes take place in the mornings with only a few taking place in the afternoons and no classes scheduled for the evenings.

STAFF

Each gym has a General Manager, Assistant Manager, and between 2-4 Physical training instructors.

At the entrance to the Gym, the Manager's contact details are displayed at all times, so members, and also members of the public, or other parties can contact the Manager at all times. Contact details of the manager can also be found on the Gym website. Contact details for the Manager of this specific gym will be: Jonti Johnson – 07788 311352

ACCESS SYSTEM AND MEMBERSHIP DATA BASE

All of our gyms are members only gyms. We do not offer daily passes, temporary passes, or pay as you gym. Therefore all members have to provide their address and contact details, including phone numbers, as well as bank account details. Members are issued with an access card, which enables them to enter the gym, 24 hours a day. The cards have to be used to access the gym, even when the gym is staffed, which means there is a constant log of who is using the gym at all times. The data base of member numbers, also allows us to instantly contact all members if required.

SECURITY

As well as the access cards, which enable us to have complete visibility to who is using our gym and when, the gym is also covered by a CCTV system. The CCTV system can be monitored in the Gym whilst it is staffed, and also remotely via an app which is used by the General Manager and Assistant Manager out of hours. The General Manager and Assistant Manager will have the ability, to instantly check the app, if for example, they are alerted to an issue via a member of the public, or another gym member during un manned hours. The staff can then take the appropriate action, which may include checking who is using the gym at that specific time, attend the gym to deal with a situation, or in a worst case scenario, call the emergency services if deemed appropriate.

No alcohol will be served, sold or consumed on site at any time.

STANDARD WARNING PROCEEDURE

As part of our staff inductions and training program, staff are made aware of and taught the three stage warning program that we operate across all gyms, which can be used to cover a wide range of issues, but generally is in place to manage and prevent anti social behavior, in particular noise, unnecessary dropping of weights, misuse of equipment etc:

Warning 1: Explain to the member that the noise is far and beyond what we can tolerate as a club & ask them politely to stop creating the noise;

Warning 2: Explain to the member that the noise has continued and if they are to continue making said noise they will ask to stop the exercise or behavior and leave the club, their access card will be disabled, so only to enable the member to access the club during manned hours, and will specifically have to contact a member of staff to access the gym.

Warning 3: Ask the member to stop what they are doing straight away and ask them to leave the club, suspend their membership and arrange a time to discuss this in greater length with the member.

CUSTOMER REMINDER NOTICES

We strongly hope that the above warning procedure will not be required, due to the close monitoring of members through our data base and access control. However, to remind our members to treat our gym, their fellow members, and neighbors with respect, the gym is well stocked with polite reminder notices, for example, in the free weights area, signs are placed to remind users not to drop weights. Signs will be in place across the gym, including the entrance area, reception, in the various zones, such as free weights, cardio, stretch and functional areas, to treat the equipment respectfully, and upon leaving the gym, to do so in a respectful manner so as not to disturb our neighbors. Examples of these notices can be provided if requested.

AUDIO LEVELS WITHIN THE GYM

Whilst most gym users will use their own audio devices, or plug into the equipment to listen to music/TV etc, we do play background music, for those that do not wish to use their own devices. This is very much set at a reasonable level (members do not wish to have overly loud music playing particularly as many of them wish to listen to their own devices) but we do not want to create a cold, sterile environment by having no music playing at all. The audio system is at the full control of the staff, and the levels and adjustment of levels are controlled by the staff, and are locked away in a server room which can only be accessed by staff. If necessary, the staff could reduce the background music to any level required before the gym is left un manned and the levels would not therefore be able to be increased until the staff are present in the gym again.

Furthermore, the windows at gym level in particular, are permanently fixed shut, further reducing the likelihood of noise breakout or disturbance.

WARD: Hengrove & Whitchurch Park

CONTACT OFFICER: Jess Leigh

SITE ADDRESS: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane Whitchurch Bristol
BS14 0JZ

APPLICATION NO: 17/03943/F Full Planning

DETERMINATION DEADLINE: 24 October 2017

Construction of 261 residential units (comprising 27 x 1-bed units, 124 x 2-bed units, 67 x 3-bed units and 43 x 4-bed units) and associated landscaping, access and infrastructure works. (Major).

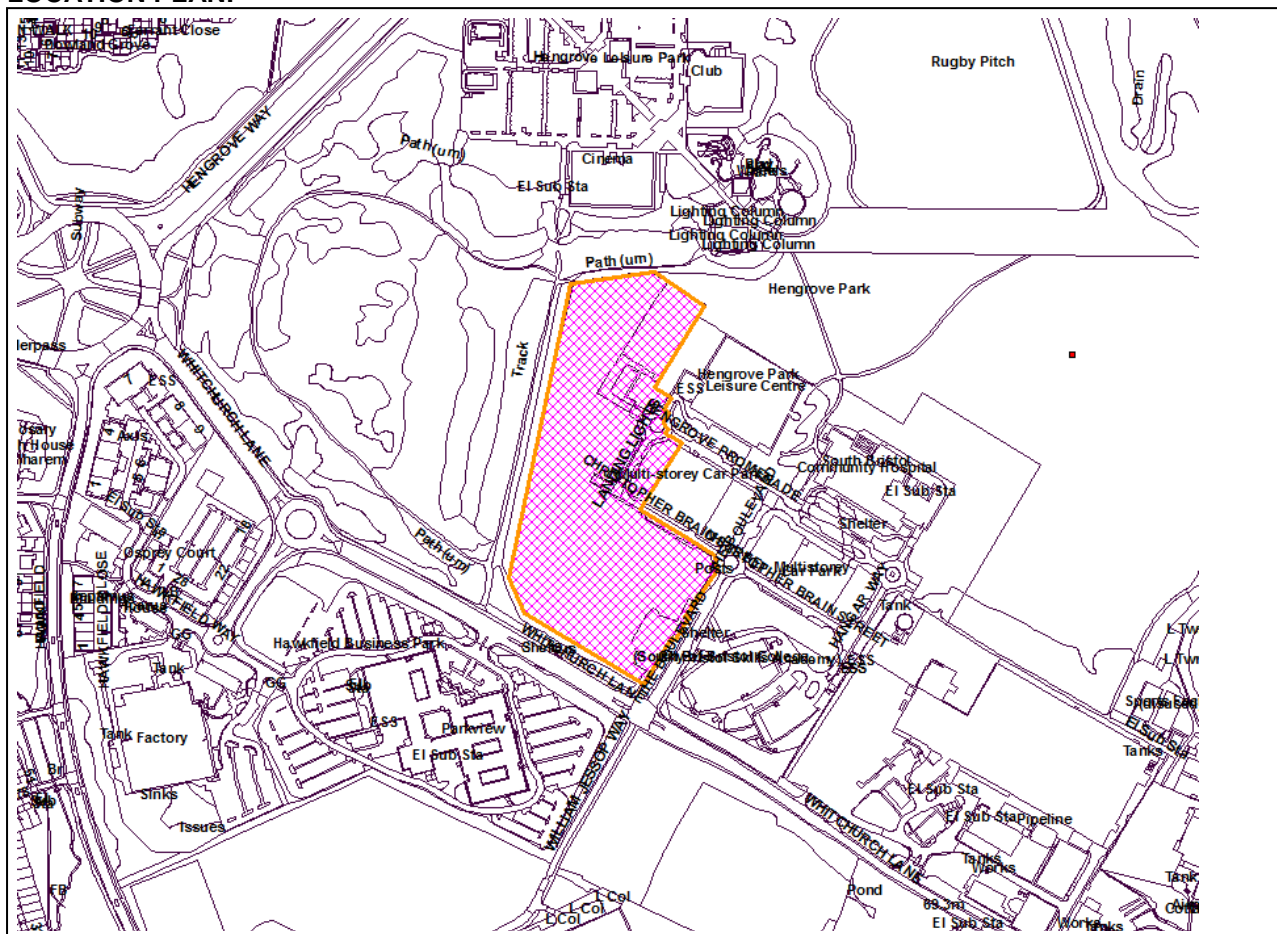
RECOMMENDATION: GRANT subject to Planning Agreement

AGENT: Stride Treglown Limited
Promenade House
The Promenade
Clifton Down
Bristol
BS8 3NE

APPLICANT: Kier Living Limited
C/o Agent

The following plan is for illustrative purposes only, and cannot be guaranteed to be up to date.

LOCATION PLAN:



Development Control Committee A – 18 October 2017

**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ**

SITE DESCRIPTION

The application site lies to the west of Hengrove Leisure Centre, a multi-storey car park, (which it immediately abuts), and the Skills Academy.

Just over half the site is under rough grass with an area to the north having been cleared and levelled to provide overflow parking for the Leisure Centre, the arising's from this work are contained within the site in the form of mounds.

Access to the site is by the new road network installed to serve the development of the wider area as a whole, the site includes one roundabout of this network.

The site is owned by the city council but under offer to Kier, the applicants.

To the north of the site is Hengrove Play Park and the privately owned Leisure Park, which includes a cinema, hotel and food outlets. To the west is an area known as The Mounds, which is owned by the council and designated as Site of Nature Conservation Area in the local plan and to the south is Whitchurch Lane. A bund of mature trees lies just outside of the site along the south and western boundaries, a well-used footpath run adjacent to the latter, which also extends along the northern boundary towards the play park.

BACKGROUND

The site falls within an area of south Bristol that is prioritised for regeneration as reflected in Policy BCS1 of the Core Strategy.

In 2005 an outline planning application was approved for a mixed use development of large parcel of land, of which the site forms part. The stated uses were; new public park, community hospital, pool and dry sports facilities, residential, offices and light industry, commercial and food and drink.

Subsequent to this individual applications were approved for the road network, hospital, leisure centre and skills centre. The residual area of land following the construction of these buildings is now allocated in the Sites Allocation document for; 'Housing, offices and open space in the form of a large high quality park', it is intended that the park be located to the north of the application site.

There are number of development considerations listed for the allocated area, those most relevant to the application site include;

i) the need for a coordinated approach to delivery of this allocation to be guided by community involvement, ii) provide improved pedestrian links to the area of open space to the mounds, iii) integrate with new community hospital and other existing uses, iv) provide for any necessary improvements to the surrounding transport/highway network, v) be designed to provide natural surveillance over open spaces and streets, vii) be informed by an ecological survey of the site and mitigate if necessary, viii) be informed by a site specific flood risk assessment, ix) incorporate SUDS and x) be informed by a Health Impact Assessment.

In 2014 Design Guidance was prepared by the Urban Design Team for the application site on behalf of the city council as land owners. This guidance also included the 'bookends' at either end of the car parks to the front of the Leisure Centre and the hospital. The guidance set out a number of constraints and opportunities with regard to access, densities and general layout. The bookends were identified as having the capacity to incorporate some commercial uses.

Development Control Committee A – 18 October 2017**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane Whitchurch Bristol BS14 0JZ**

The proposal was the subject of a request for an EIA screening opinion in August 2016 when it was concluded that it would not be an EIA application.

In June 2016, the scheme was presented to the Bristol Urban Design Forum. A number of comments were made on the scheme to include criticism of the similarity of the streets, dominance of the needs of motorists, criticism of north facing gardens, wish to see greater integration of the woodland and consideration of SUDS for recreation and habitat creation.

A second presentation was made in January 2017 when the forum expressed encouragement that the dominance of the car in the design of the streets had been addressed, connection to the woodland strip improved, pedestrian network improved, suggested house types could be developed to give a Bristol style. Design of Hengrove Square was an issue.

A Pre-Application Planning Enquiry was submitted in January 2017 when comments made and discussions regarding design have informed the current application.

The current application site does not include three of the bookends included in the brief, these and the remainder of the allocated area, (generally known as Hengrove Phase 2) are currently the subject of a master planning exercise and community consultation has recently commenced. The aim being to submit an outline planning application in Spring 2018.

APPLICATION

To build 261 dwellings in the form of 102 one and two bed apartments, 49 two bed houses, 67 three bed houses and 43 four bed houses.

Of these, 28, 15, 14 and 3 respectively are affordable rented and 8, 6 and 4 are for shared ownership, (i.e. no four bed houses).

Most of the apartments are proposed in a four/three storey block facing the junction between Whitchurch Lane and The Boulevard, behind which the housing, all two storey, is sited and laid out in perimeter blocks of differing sizes, shapes and orientations. Where the houses face west, there is an intervening corridor of open space between in and the treed boundary with The Mounds, which includes some swales that form part of the drainage strategy for the site. There are pedestrian connections across this space.

A cluster of three storey apartments is proposed against the flank wall of the car park.

Where proposed the two bedroom houses are in the form of terraces with car spaces sited to the front, the larger houses are mainly in pairs of semi-detached with a small number being detached, these have a mix of car spaces and garages. Both blocks of apartments are served by car parking courts.

The existing roundabout that falls within the site has been changed to become a formal square fronted by houses. The internal road layout is largely designed on home zone principles.

The development will involve the felling of a number of existing street trees but does include several new trees both to the car parking areas and open spaces. The site will be largely levelled with a slight fall to the south east to accommodate the drainage, as a result there will be some increase in height along the western and northern boundaries.

The dwellings are simple in appearance and use a number of features such as raised brick panels and coloured panels to add interest and identity to individual elements of the scheme.

Development Control Committee A – 18 October 2017**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ**

Full hard and soft landscaping information has been submitted with the application plus documentation to include Air Quality Assessment, Ecology Appraisal, Noise Assessment and Health Impact Assessment.

COMMUNITY INVOLVEMENT

Pre-submission consultation undertaken

A programme of public involvement was undertaken in October 2016 and included a presentation to the Hengrove and Whitchurch Forum, a briefing to councillors, a design workshop and presentation to the Neighbourhood Partnership. A staffed public exhibition took place in the Leisure Centre to which key stakeholders and near neighbours were specifically invited along with sending out of leaflets and flyers.

Summary of comments;

i) Hengrove and Whitchurch Forum

A key concern raised was the capacity of services and facilities to cope with increased population, (this was in relation to the wider proposals as well), the potential mix and tenure of homes was raised with a need for one bed units and fully accessible homes highlighted.

A need for a link to the existing bus stop from the site was raised with mixed views about the amount of car parking. Height was an issue. The scope for public art and improvement to the footway around the site were also mentioned.

ii) Councillors

Consider increase in densities, create an active hub such as supermarket, pressure on GP's and schools - could expand the school on Hengrove Park, parking to be private, affordable and accessible housing need.

iii) Design Workshop

Some support for: higher densities, affordable housing to be spread across the site, increased height in key locations, home zones, creation of character areas, native species planting and local shops. Question how commuter parking could be prevented and need for more design work to the square commented upon.

iv) Neighbourhood Partnership

Comments focused on Hengrove Park Phase 2

v) Public exhibition

Hengrove Phase 2 attracted most comment. Additional traffic and impact on local services were issues raised. The Statement of Community Involvements provides details of comments.

Response to comments received;

Apartments fronting the main street redesigned to provide a stronger gateway, the road around the square is reconfigured, swathe of green along the western edge to provide a more usable public area, increase the number of corner turning houses, more visitor parking, and use of building facilities.

Response to publicity and consultation on the planning application

A total of 138 letters were issued with a final closing date for comment of the 3rd October and Site Notices/Press notices with a closing date for comment of the 30th August 2017.

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Three letters have been received, to include one from the Hengrove and Stockwood Neighbourhood Forum, commenting as follows;

- i) The principle of housing is generally supported in this location, well served by public transport
- ii) Provision of Health Services and local facilities such as shopping- there have been problems with health services in the area and the new development will put further pressure on GP's in the area- the development of Phase 2 will add further pressure on facilities and an integrated approach is needed- See Key Issue A
- iii) Loss of park- housing will have an impact on the wildlife, peace and tranquillity- it has the capacity to generate income- See Key Issue A
- iv) Parking- an area used for overflow car parking to the leisure centre is to be lost and there is no alternative parking provided - See Key Issue A
- v) How the development of individual parcels of land will integrate into the community is important - approval of the application should be delayed until there is sufficient information and outline approval for Phase 2 to make a clear integrated solution in the best manner possible- See Key Issue A
- vi) Contributions - these should include monies for the maintenance of the new park- See Key Issue A
- vii) The Sustainability and Energy Statement concludes that CHP is not possible due to the low density development of purely residential units but it is adjacent to key sources of heat sharing, at least the infrastructure for future CHP should be included - See Key Issue I

Public Health Bristol has commented as follows:-

The HIA seems fairly brief given the size of the development and I feel that they are focused on how the development sits within the existing infrastructure rather than how a development itself can enhance health. This is usually best achieved using a matrix of key factors and likely impact. It is recognised that we do not provide a template for HIA's.

Crime Reduction Unit has commented as follows:-

There are no objections to the development and consider it will have key benefits; a sustainable place to live in with energy efficient homes and within walking distance of community facilities with pedestrian friendly streets, parkland and places to play, it provides much needed housing stock and makes use of land that is currently redundant. There is however no mention of security measures or standard of security that will be used. Consideration should be given to applying for Secured by Design.

Nature Conservation Officer has commented as follows:-

An ecological mitigation and enhancement strategy prepared by an ecological consultant should be conditioned as a pre-commencement of development. The site supports unimproved neutral grassland which was assessed as a priority habitat and is thus a material consideration. An area of this should be retained on site or translocated. A grassland mitigation strategy and ten year management plan will be required.

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Air Quality has commented as follows:-

The assessment methodology used is considered acceptable. The impact of the development proposal on air pollution during the operational phase is considered negligible. The report indicates that there is the potential for some impact during the construction phase and therefore the highly recommended and desirable mitigation measures within Appendix D should be incorporated into a CEMP/Dust Management Plan.

Pollution Control has commented as follows:-

The acoustic report submitted with the application is acceptable. The report makes some recommendations, particularly with reference to Hengrove Leisure Centre, and it is necessary to ensure by condition that these recommendations and suitable mitigation measures are adopted at the development.

Flood Risk Manager has commented as follows:-

The following comments relate to two aspects; 1. Flood risk to the site and 2. Surface water management from the proposed development

Flood risk to the site

The Environment Agency surface water flood risk mapping (which for the Bristol area is based on BCC's Surface Water Management Plan model) shows the site to be at significant risk of surface water flooding. However, for reasons outlined in the Flood Risk Assessment this was known to be an inaccurate representation of flood risk to the site. The applicant has therefore undertaken site specific surface water flood modelling in consultation with BCC as the Lead Local Flood Authority. We are satisfied that the assessment of surface water flooding that has been undertaken is appropriate, and the resulting outputs have been appropriately used to inform the site layout to ensure the development remains safe from flood risk. We therefore have no objection or further comment on the application with regards to flood risk to the site.

Surface Water Management

The proposals include a drainage strategy that incorporates a number of sustainable drainage measures including permeable paving, detention basins, underground storage and highway bio-retention features. The drainage hierarchy and principles of surface water management train have been followed and peak runoff rates have been agreed with Wessex Water. Corresponding storage volumes have been included to ensure the drainage meets our technical standards. We are satisfied with the level of detail provided at this stage and we are supportive of the approach taken. Further detail may be required as the design progresses and arrangements for on-going future maintenance are yet to be finalised. We therefore request that our standard pre commencement drainage condition is applied should planning permission be granted. We also request that our standard pre-occupation drainage condition is applied in addition to the pre commencement condition.

Sustainable Cities Team has commented as follows:-

Further information required with regard to measures to mitigate overheating, a site-specific feasibility and viability assessment is required to demonstrate whether a site wide communal heating system is feasible, if it is found to be unfeasible/unviable for the site as a whole, the omission of certain units that are posing a challenge to viability should also be assessed. Should a communal heating system not be viable, a noise assessment should be undertaken to see if ASHP's are feasible for the site, if acceptable then these should be selected as the heating system. Measures to limit water uses should be identified and a commitment to maximise the use of materials with low lifecycle environmental impacts.

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Urban Design has commented as follows:-

In summary the scheme has made positive steps forward and the quality of the submission is very good. The key issues have been addressed throughout the preapp process, as such I have very little to comment on with only the detailed issues to include;

boundary treatments, lack of management plan for the landscaped areas, exposed garden wall to plots 56 and 47, bin store between Block E, too strong an emphasis on smaller tree species throughout the scheme, the railing detail to the apartment blocks and gravel path surfaces.

4/10/17- Apartment Design:

The revised plans reflect comments made. Some items to be revisited to include parapet wall, entrance features, materials and rear windows.

RELEVANT POLICIES

National Planning Policy Framework – March 2012

Bristol Local Plan comprising Core Strategy (Adopted June 2011), Site Allocations and Development Management Policies (Adopted July 2014) and (as appropriate) the Bristol Central Area Plan (Adopted March 2015) and (as appropriate) the Old Market Quarter Neighbourhood Development Plan 2016 and Lawrence Weston Neighbourhood Development Plan 2017.

In determining this application, the Local Planning Authority has had regard to all relevant policies of the Bristol Local Plan and relevant guidance.

KEY ISSUES

A. IS THE PRINCIPLE OF HOUSING ACCEPTABLE?

The site falls within a much larger area which has a mixed use designation in the local plan. A programme of master planning and public consultation is currently underway with regard to the remainder. As land owners the council has decided to bring this site forward for housing at an earlier stage. There is no inherent conflict with the designation by doing this and in many ways it is a self-contained site that has a limited interface with the larger area.

Some queries have however been raised regarding the site to include the loss of the land as park, the loss of land for coach/overflow parking in association with events at the Leisure Centre, the need to contribute to the maintenance of the proposed new park impact on education/secondary health care facilities.

In respect of the loss of park, the site has never been open to public use and Hengrove Phase 2 will include a new park, the ecological value of the site is considered under issue B.

With regard to the parking, this use was only ever intended as a temporary short term measure and the leisure centre has now vacated the area. There is potential to use other 'bookends' to the car parks for coach parking as an alternative. It is understood that the centre is looking at reducing the traffic it generates, it is anticipated that this may be an issue which will come forward looking at the area as a whole but not one to hold up the development of the application site.

The maintenance of the new park which will come forward as part of the master planning will be addressed through contributions from the developments included in that plan and not from this site. The issue of education facilities will be considered in connection with this larger development.

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The issue of provision of health centres and GP's is more difficult to address as this is not something the council can have any direct control over with regard to the number of GP's in an area or their business decisions to establish a health centre or expand an existing one.

A Health Impact Assessment has been submitted with the application, which covers the broader health implications of the scheme as well as this issue of access to health facilities and services. This refers to the accessibility of open space to the site in the form of the mounds, proximity of sports facilities and a layout that gives priority to pedestrians and cyclists.

It is noted that the Whitchurch Health Centre is within 1.25km of the site and two further within 2km of the site, which it is understood have capacity at present. Dentists within the area are also understood to have capacity.

B. IS THE IMPACT ON THE ECOLOGY OF THE SITE ACCEPTABLE?

An ecological survey and appraisal was undertaken of the site which showed the majority of the southern part of the site was species rich, lowland meadow grass land, which is identified as a 'priority habitat'. It was recorded that there was little potential to support bats and a bat survey showed evidence of foraging bats around the periphery. Some dense shrub and rough longer grass had potential for reptiles and a subsequent reptile survey identified a small number of slow worms.

There was some evidence of mammal foraging along the western boundary with the trees and scrub offering potential for nesting birds.

With regard to key habitats, the majority of the bank of trees along the Whitchurch Lane frontage is to be retained and the parts of the grassland that are most species rich are to be relocated within the site, details to be agreed. Some new habitats will be created within the landscaping scheme, to include the proposed swales. The planting proposed for the development as a whole incorporates mainly native species and this will add to the biodiversity of the area.

Precautionary methods of working are proposed for all identified species.

It will be a requirement that the external lighting for the scheme be designed in accordance with best practise as set out by the Bat Conservation Trust and prevent any light over spilling onto the undeveloped land around the site.

Pending conditions as appropriate, it is considered that this is an acceptable response to the ecological value of the site.

C. ARE THERE ANY CONTAMINATION ISSUES ARISING FROM THE DEVELOPMENT?

Ground investigations have been undertaken which shows limited ground contamination on the site as a whole however The Mounds to the west is a former landfill site and there is concern that ground gases may emanate from this area. Accordingly further gas readings beyond those already undertaken are recommended. It is understood that this work has been commissioned but in the meantime conditions are recommended to cover outstanding items.

Any topsoil being imported will need to be certified as being clean.

D. IS THE IMPACT ON THE TREES ON SITE ACCEPTABLE?

An Arboricultural Survey and Impact Assessment has been submitted with the application. 27 of the street trees that were planted alongside the new access roads when they were built will be lost through the development of the site, these are all classed as category C, as well as a small group

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of self-sown trees towards the south east corner that will be lost, these flank the bund of mature trees that fall outside of the site along the southern boundary, these are category B2.

As well as considering the number and value of the trees on site that are to be removed, it is necessary to assess the impact of the development on the bunds of trees along the southern and western boundary, these have significant landscape value.

The report concludes that these are at a sufficient distance from the proposed development not to cause nuisance from shading or require a no dig approach. Tree protection is recommended and this is focused on these trees. Some works are also proposed to a couple of poplar trees within these bunds, these are not specifically conditioned.

121 new trees are proposed within the development which will be managed by a management company.

Overall the approach to the trees on site and new planting is considered acceptable and fully in accordance with DM17

E. IS THE DENSITY OF, MIX OF HOUSING SIZE AND TENURE ACCEPTABLE?

The overall density of the development is 50 dph which is compliant with BCS18.

The introduction of apartments within the development site is a response to known need in the area for smaller units as it is otherwise dominated by two and three bed houses. A total of 5 apartments are fully wheelchair accessible in line with DM4.

Of the development a total of 60 are to be for social rent and 18 shared ownership, this equates to 30% of the development as a whole which is compliant with Policy BCS17 for this part of the city as the split between tenures. The mix of sizes of the affordable element has been discussed and agreed with Housing.

A Section 106 Agreement is proposed which will secure this provision.

F. IS THE DESIGN OF THE PROPOSAL ACCEPTABLE?

The height of the apartment blocks at the entrance are considered to relate well to the scale of the skills academy on the opposite side of the access road and are designed in a way that introduces visual interest and verticality. The smaller apartment block will help merge the housing development with the two storey car park, which is otherwise an anomalous feature.

The housing is traditional in scale but in a mix of designs that gives identity to individual streets, some are to incorporate a mix of colours to pick up on the 'Bristol Vernacular'.

The new street trees and square will provide a green backdrop to the development.

Samples of all materials, to include paving materials, large scale details and the landscaping will be required by condition.

A draft scheme of public art has been submitted and a condition is recommended requiring a strategy with timescale to be developed and approved.

The development has potential to provide a good quality built environment and add positively to the street scene.

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G. WILL THE PROPOSAL HAVE AN ADVERSE IMPACT ON NEIGHBOURS?

The application site is largely physically removed from any residential neighbours and development of the land to the north will have to take it into account when this is being designed.

However a well-used footpath runs to the north and west of the site, which residents use to gain access to the mounds for recreational purposes. The site is to be remodelled in connection with the proposed main direction of drainage and there will be an increase in height along the western and northern boundary.

Cross sections have been provided to show the anticipated change in levels.

Along the former the increase is approximately 1.2-1.4m and as the bund of trees lies between the path and the boundary it is not considered the impact on the path will be significant.

To the north, the increase in height is a maximum of 2m and given the proximity of the footpath, there is concern that this will reduce sight lines and create a feeling of reduced personal safety and security for users of the path. Given that the linkages between the site and the surrounding footpath network is an important element of knitting it into the built fabric this is of concern.

It is understood that the cross sections show a worst case scenario and there may be scope to increase the height of the path in places to offset the impact. It is agreed with the developer that the treatment of this boundary be conditioned to enable this to be further investigated to provide a satisfactory solution.

H. IS THE ACCOMMODATION BEING PROPOSED ACCEPTABLE?

All the proposed accommodation complies with the nationally described space standards. Due to the proximity of a main road, car park and leisure centre a noise assessment was requested and this has been submitted with the application. This has concluded that the façade of the apartment blocks facing the road boundary will require mitigation works to achieve a satisfactory internal noise level, to include acoustic glazing. In addition it is recommended that those windows in the proximity of the leisure centre have an alternative means of ventilation to an open window. A condition requiring full detail of these measures is recommended.

A mix of building mass, passive ventilation from windows and tree planting will reduce any potential overheating as a result of climate change.

The Air Quality Assessment shows that the site is acceptable for the proposed use.

I. IS THE DEVELOPMENT SUSTAINABLE?

Given that the development is over 100 dwellings there is a policy requirement for a BREEAM communities assessment however as the development is for housing only and does not raise a large number of issues, it was agreed that the developers could take responsibility for the assessment as opposed to employing a professional assessor. BREEAM assessments apply to three stages; the initially planning of a site, the detailed layout stage and designing details- usually done after grant of planning consent. The document included with the application shows the development to satisfactorily address the appropriate criteria.

In addition to this a Sustainability Statement and SUDS concept scheme have been submitted with the application to address a number of the issues set out in policies BSCS13-16.

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It is stated that the dwellings have been designed to high energy efficiency and this will exceed those set by building regulations.

However there is concern that the energy strategy does not adequately assess the possibility of providing a CHP plant on site, powered by renewable energy, and associated infrastructure, which could subsequently link into a District Heat Plant if incorporated into Hengrove Phase 2. Feasibility work is underway on this option.

Accordingly a site specific feasibility and viability assessment has been requested to demonstrate whether a site wide communal heating system is feasible for all or part of the site. At the time of writing this work had not been completed and a verbal update will be given at committee with recommended conditions as appropriate.

J. IS THE PROPOSAL ACCEPTABLE ON HIGHWAY SAFETY GROUND?

The main access to the site is via The Boulevard and Christopher Brain Street, which are both part of the purpose built highway network to serve the development of Hengrove Park and therefore there are no concerns about the capacity of the highway network to serve the development.

The site is well served by public transport to include the MetroBus and there are plans to provide a set down stop adjacent to the site. A current project is underway to provide a cycle route along Whitchurch Lane and improved pedestrian crossing facilities on Whitchurch Lane. There are existing paths close to the site from the surrounding area and the development of the land to the north will contain links in all directions.

The internal road layout of the development has been tracked to show that it can be accessed by an 11.4m vehicle and a passing car at the same time though there remain some concerns about the tracking at junctions. A response has been sent from the applicant on this matter and an update will be reported at committee.

The number of car spaces being provided equates to the maximum standard as set out in Appendix 2 of the Site Allocation and Development Management Local Plan. In spite of the availability of public transport, the site is some distance from the city centre and there is a high car ownership in the area, accordingly it is considered important that a sufficient number of car spaces are provided.

Where garages are proposed 13 amp plugs are to be provided to enable electric vehicles to be charged at a future date. Four charging points are to be provided adjacent the apartments in the south east corner.

A satisfactory level of cycle parking is being provided to comply with adopted standards. Refuse storage is either in stores to the front of house or in communal areas serving the flats. All is within an acceptable distance of the highway for collection. Conditions are recommended to require these items.

A contribution towards a bus set down, improved crossing facilities on Whitchurch Lane and a cycle way on the main road, a contribution of £30,000 is considered a reasonable amount.

A Residential Travel Plan has been included with the submission though more detail is required before it can be approved.

The Section 106 Agreement will include an amount to enable the travel plan to be audited and monitored, an amount to pay for a Traffic Regulation Order to impose a 20mph within the site.

On this basis there can be no objections to the proposal on highway safety grounds.

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K. IS THE DEVELOPMENT CIL LIABLE?

The CIL liability for this development is £1,592,078.84, however social housing relief may be claimed on those residential dwellings included in the development that are to be managed by a Housing Association for the provision of affordable housing.

RECOMMENDED GRANT subject to Planning Agreement**Time limit for commencement of development****1. Full Planning Permission**

The development hereby permitted shall begin before the expiration of three years from the date of this permission.

Reason: As required by Section 91 of the Town and Country Planning Act 1990, as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Pre commencement condition(s)**2. Construction Management Plan**

No development shall take place until a site specific Construction Environmental Management Plan has been submitted to and been approved in writing by the Council. The approved plan/statement shall be adhered to throughout the construction period. The statement shall provide for traffic management and use of the best practicable means to reduce the effects of noise, vibration, dust and site lighting, it shall include - but not be limited to- the following;

- Parking of vehicle of site operatives and visitors
- Routes for construction traffic
- Method of prevention of mud being carried onto highway
- Pedestrian and cyclist protection
- Proposed temporary traffic restrictions
- Arrangements for turning vehicles
- Procedures for maintaining good public relations including complaint management, public consultation and liaison
- Arrangements for liaison with the Council's Pollution Control Team
- All works and ancillary operations which are audible at the site boundary, or at such other place as may be agreed with the Local Planning Authority, shall be carried out only between the following hours:
08 00 Hours and 18 00 Hours on Mondays to Fridays and 08 00 and 13 00 Hours on Saturdays and; at no time on Sundays and Bank Holidays.
- Deliveries to and removal of plant, equipment, machinery and waste from the site must only take place within the permitted hours detailed above.
- Mitigation measures as defined in BS 5528: Parts 1 and 2: 2009 Noise and Vibration Control on Construction and Open Sites shall be used to minimise noise disturbance from construction works.
- Procedures for emergency deviation of the agreed working hours.
- Bristol City Council encourages all contractors to be 'Considerate Contractors' when working in the city by being aware of the needs of neighbours and the environment.

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- Control measures for dust and other air-borne pollutants. This must also take into account the need to protect any local resident who may have a particular susceptibility to air-borne pollutants.
- Measures for controlling the use of site lighting whether required for safe working or for security purposes.

Reason: In the interests of highway safety and the amenities of surrounding occupiers during the construction of the development.

3. Highway Works

Prior to commencement of development general arrangement plan(s) indicating the following works to the highway shall be submitted and approved in writing by the Local Planning Authority

- Internal access roads

Indicating proposals for:

- Threshold levels of the finished highway and building levels
- Alterations to waiting restrictions or other Traffic Regulation Orders to enable the works
- Locations of lighting, signing, street furniture, street trees and pits
- Structures on or adjacent to the highway
- Extents of any stopping up or dedication of new highway

These works shall then be completed prior to first occupation of the development to the satisfaction of the Local Highway Authority and as approved in writing by the Local Planning Authority.

Reason: In the interests of public safety and to ensure that all road works associated with the proposed development are planned and approved in good time to include any statutory processes, are undertaken to a standard approved by the Local Planning Authority, and are completed before occupation.

NB: Planning permission is not permission to work in the highway. A Highway Agreement under Section 278 of the Highways Act 1980 must be completed, the bond secured and the City Council's technical approval and inspection fees paid before any drawings are considered and approved and formal technical approval is necessary prior to any works being permitted.

4. No development of the dwellings hereby approved shall take place until general construction details of the internal access roads to achieve an adoptable standard have been submitted and been approved in writing by the Local Planning Authority. The dwellings shall not be occupied until the roads serving them are constructed to base course layer with all turning provision and parking provision completed in accordance with the approved plans.

Reason: In the interests of highway safety.

5. Protection of Retained Trees During the Construction Period

No work of any kind shall take place on the site until the protective fence(s) has (have) been erected around the retained trees, to include those outside the site, in the position and to the specification shown on Drawing No. 32507 STL XX Xx DR L ZZZZ 090901 PI01. The Local Planning Authority shall be given not less than two weeks prior written notice by the developer of the commencement of works on the site in order that the council may verify in writing that

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the approved tree protection measures are in place when the work commences. The approved fence(s) shall be in place before any equipment, machinery or materials are brought on to the site for the purposes of the development and shall be maintained until all equipment, machinery and surplus materials have been removed from the site. Within the fenced area(s) there shall be no scaffolding, no stockpiling of any materials or soil, no machinery or other equipment parked or operated, no traffic over the root system, no changes to the soil level, no excavation of trenches, no site huts, no fires lit, no dumping of toxic chemicals and no retained trees shall be used for winching purposes. If any retained tree is removed, uprooted or destroyed or dies, another tree shall be planted at the same place and that tree shall be of such size and species, and shall be planted at such time, as may be specified in writing by the council.

Reason: To protect the retained trees from damage during construction, including all ground works and works that may be required by other conditions, and in recognition of the contribution which the retained tree(s) give(s) and will continue to give to the amenity of the area.

6. Sustainable Drainage System (SuDS)

The development hereby approved shall not commence until a Sustainable Drainage Strategy and associated detailed design, management and maintenance plan of surface water drainage for the site using SuDS methods has been submitted to and approved in writing by the Local Planning Authority. The approved drainage system shall be implemented in accordance with the approved Sustainable Drainage Strategy prior to the use of the building commencing and maintained thereafter for the lifetime of the development.

Reason: To prevent the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal is incorporated into the design and the build and that the principles of sustainable drainage are incorporated into this proposal and maintained for the lifetime of the proposal.

7. Prior to the commencement of vegetation clearance on site an ecological mitigation and enhancement strategy shall be submitted and approved in writing by the Local Planning Authority and thereafter implemented as approved. The strategy shall include the following; i) precautionary measures to avoid impacts on nesting birds, reptiles and hedgehogs, ii) updated survey for badgers immediately prior to the commencement of works and site/vegetation clearance, iii) toolbox talks for site operatives, iv) the supervision of relevant site clearance works under an Ecological Clerk of Works (ECoW) and v) measures to prevent foraging badgers being trapped in excavations or open pipework during construction works (open pipework larger than 150 mm outside diameter should be blanked off at the end of each working day), vi) the provision of a reptile hibernacula and the retention of an area of suitable habitat such as a wildflower meadow for slow-worms on site within an area of green space, vii) access holes for hedgehogs (15 x 15 cm gaps) should be provided in the bases of garden fencing panels, viii) the provision of bare ground with accompanying flowery swards, deadwood and a butterfly meadow with a list of recommended plant species, (ref pages 10-11 of the invertebrate survey dated 29th September 2019)

Reason: In the interests of nature conservation value of the site.

8. Prior to the commencement of vegetation clearance on site a Grassland mitigation strategy and ten year management plan for the unimproved grassland on site as identified in the Ecological Appraisal dated October 2016 shall be submitted and approved in writing by the Local Planning Authority and implemented in accordance with that approval. This shall include either the retention on, or translocation of, the unimproved neutral grassland habitat.

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Reason: In order to preserve this priority habitat.

9. No construction shall take place until there has been submitted to and approved in writing by the Local Planning Authority a detailed scheme of noise insulation measures, including ventilation, with regards to noise from commercial sound arising from the Hengrove Park Leisure Centre operations.

The scheme of noise insulation measures shall take into account the recommendations detailed in the Noise Assessments submitted with the application and the provisions of BS 8233: 2014 "Guidance on sound insulation and noise reduction for buildings".

The approved details shall be implemented in full prior to the commencement of the use permitted and be permanently maintained.

Reason: In order to secure a satisfactory living environment

10. Further details

Detailed drawings at the scale of 1:10 of the following shall be submitted to and be approved in writing by the Local Planning Authority before the relevant part of work is begun. The detail thereby approved shall be carried out in accordance with that approval.

- i) Typical windows and doors to show details of the header, cill, reveal, and jambs.
- ii) Typical details of eaves, verges, coping and rainwater goods.
- iii) Details of all balconies
- iv) Raised parapet to corner elevation of the apartment block D
- v) Entrance to apartment block D
- vi) Rear windows to apartment block D
- vii) Details of all boundary treatments
- viii) External lighting- to include details of fixtures, luminaires and lux contour diagrams- (to comply with Guidance for External Lighting issued by the Bat Conservation Trust).

Reason: In the interests of visual amenity and the character of the area.

11. Submission of samples before work starts

No development shall take place until samples as follows have been submitted to and been approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved samples.

- i) 1m x 1m samples panel of proposed brick demonstrating typical facing, bond and mortar.
- ii) 1m x 1m samples panel of proposed brick detail panels demonstrating typical facing, bond and mortar.
- iii) Samples of all other facing materials.
- iv) Samples of hard landscaping materials

Reason: To ensure that the external appearance of the building is satisfactory.

12. Land affected by contamination - Submission of Remediation Scheme

No development shall take place until a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been prepared,

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submitted to and approved in writing by the Local Planning Authority. The remediation strategy must include a revised section on ground gas risk assessment. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

Reason: To ensure that risks from land contamination is understood prior to works on site both during the construction phase to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

13. Land affected by contamination - Implementation of Approved Remediation Scheme

In the event that contamination is found, no occupation of the development shall take place until the approved remediation scheme has been carried out in accordance with its terms. The Local Planning Authority must be given two weeks written notification of commencement of the remediation scheme works.

Following completion of measures identified in the approved remediation scheme, a verification report (otherwise known as a validation report) that demonstrates the effectiveness of the remediation carried out must be produced, and be approved in writing by the Local Planning Authority.

Reason: To ensure that risks from land contamination both during the construction phase and to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

14. Prior to the commencement of the earth works in association with the development of Phase 4 - as illustrated in the Design and Access Statement- there shall be submitted and approved in writing by the Local Planning Authority details of the regrading of the land around the periphery to the northern boundary of the development site and compensatory increase in the height of the adjacent length of existing footpath to the north. The scheme thereby approved shall be undertaken by the developer prior to the occupation of the dwellings within Phase 4 and to a time table to be agreed with the LPA.

Reason: in order to mitigate the impact on the existing pedestrian path network and to enable/encourage sustainable modes of transport.

Pre occupation condition(s)

15. Prior to occupation of the development details provided by a qualified ecological consultant shall be submitted to and approved in writing by the Local Planning Authority providing the specification, orientation, height and location for built-in bird nesting and bat roosting opportunities. This shall include 30 built-in bird boxes or bricks to include at least 20 swift boxes, and 15 built-in bat boxes. Development shall be undertaken in accordance with the approved details. See Advice Note 1

Reason: To help conserve legally protected bats and birds which include priority species.

Development Control Committee A – 18 October 2017**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ****16. Completion and Maintenance of Sustainable Drainage System (SuDS) - Shown on Approved Plans**

No building or use hereby permitted shall be occupied or the use commenced until the SuDS scheme for the phase within with the building falls- as shown on the drawing included in the Design and Access Statement- has been completed in accordance with the approved Sustainable Drainage Strategy. The SuDS scheme shall be managed and maintained thereafter in accordance with the agreed management and maintenance plan.

Reason: To prevent the increased risk of flooding by ensuring the provision of a satisfactory means of surface water disposal and that the principles of sustainable drainage are incorporated into this proposal and maintained for the lifetime of the proposal.

17. Residential travel plan

Prior to the occupation of the development hereby permitted, (or in accordance with other times as specified), there shall be submitted and approved in writing by the Local Planning Authority an updated Residential Travel Plan to include, but not solely, the following;

A branded and informative Travel Information Pack (to be provided to the LPA for approval 3 months prior to occupation), Bus tickets to be provided free of charge rather than at discounted rates as stated, Cycle vouchers and measures to be offered and a comprehensive personalised travel planning programme to be offered via door knocking rather than on request as suggested, Identification of the roles of the Travel Plan Coordinator, The promotion of sustainable travel through marketing materials and provision of the Travel Information Pack at the marketing suite.

The Action Plan must include all measures, together with budgets, the commencement date and implementation timetable, together with details of the Travel Plan Co-ordinator responsible for delivery. The Travel Plan requires clear SMART targets, with deadlines specified by when these will be achieved, the principal target being a reduction year-on-year in single occupancy car use. A 10% reduction from the baseline is acceptable rather than as is.

The Travel Plan must include a set of baseline travel data and describe how monitoring will be undertaken biennially over a 5-year period (i.e. years 1, 3 and 5), the data to be collected and reported on, measured against the baseline data and agreed targets. This needs to include a consideration of the following:

- o Frequency of monitoring
- o Description of how surveys will be undertaken
- o Duration of surveys
- o Define who will be responsible for the survey work
- o Use of traffic counters
- o Resident/employee surveys and the survey return rate

A monitoring timetable should be included, including the expected date of the first monitoring report.

Reason: In order to promote sustainable modes of transport.
See Advice note 2

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Whitchurch Bristol BS14 0JZ****18. Land affected by contamination - Reporting of Unexpected Contamination**

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of Condition and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of Condition ****, which is to be submitted to and be approved in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the Local Planning Authority in accordance with condition ****.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.

19. Implementation/Installation of Refuse Storage and Recycling Facilities - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the refuse store, and area/facilities allocated for storing of recyclable materials, to serve that building, as shown on the approved plans have been completed in accordance with the approved plans. Thereafter, all refuse and recyclable materials associated with the building shall either be stored within this dedicated store/area, as shown on the approved plans, or internally within the building(s) that form part of the application site. No refuse or recycling material shall be stored or placed for collection on the public highway or pavement, except on the day of collection.

Reason: To safeguard the amenity of the occupiers of adjoining premises, protect the general environment, and prevent obstruction to pedestrian movement, and to ensure that there are adequate facilities for the storage and recycling of recoverable materials.

20. Completion of Vehicular Access - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the means of vehicular access to serve the building has been constructed and completed in accordance with the approved plans and the said means of vehicular access shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

21. Completion and Maintenance of Car/Vehicle Parking - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the car/vehicle parking area to serve that building as shown on the approved plans has been completed, and thereafter, the area shall be kept free of obstruction and available for the parking of vehicles associated with the building.

Reason: To ensure that there are adequate parking facilities to serve the development.

Development Control Committee A – 18 October 2017

**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
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22. Completion of Pedestrians/Cyclists Access - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the means of access for pedestrians and/or cyclists to serve the building has been constructed in accordance with the approved plans and shall thereafter be retained for access purposes only.

Reason: In the interests of highway safety.

23. Completion and Maintenance of Cycle Provision - Shown on approved plans

No building or use hereby permitted shall be occupied or the use commenced until the cycle parking provision shown to serve the building on the approved plans has been completed, and thereafter, be kept free of obstruction and available for the parking of cycles only.

Reason: To ensure the provision and availability of adequate cycle parking.

24. Prior to the occupation of the dwellings hereby approved, a ten year landscape and nature conservation management plan shall be produced for the application area. This shall include consideration of features of interest, objectives, management compartments and prescriptions, a work schedule including a 10 year annual work plan, resourcing including a financial budget and ecological monitoring. The development shall be carried out in accordance with the approved plan or any amendment as approved in writing by the Local Planning Authority.

Reason: In the interests of nature conservation value and landscape value of the development.

25. Prior to the occupation of apartment block C, D or E, hereby approved the electrical vehicle charging points shall be installed as per the approved drawings and thereafter retained.

Reason: In order to support and encourage lower polluting forms of vehicles.

Post occupation management

26. The wheelchair accessible units shown on the approved plans shall be provided in accordance with the approval and thereafter retained.

Reason: In the interests of equality

27. Landscape (planting) works - shown

The planting proposals hereby approved shall be carried out no later than during the first planting season following the date when each phase, (as shown in the Design and Access Statement) of the development hereby permitted is ready for occupation or in accordance with a programme agreed in writing with the council. All planted materials shall be maintained for five years and any trees or plants removed, dying, being severely damaged or becoming seriously diseased within 5 years of planting shall be replaced with others of similar size and species to those originally required to be planted.

Reason: To ensure that the appearance of the development is satisfactory.

Development Control Committee A – 18 October 2017

**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ**

List of approved plans

28. List of approved plans and drawings

The development shall conform in all aspects with the plans and details shown in the application as listed below, unless variations are agreed by the Local Planning Authority in order to discharge other conditions attached to this decision.

Development proposals: Phase 1 - Hengrove Park, received 25 July 2017
 Health impact assessment, received 25 July 2017
 Noise assessment report, received 25 July 2017
 Public art strategy planning application stage, received 25 July 2017
 Residential travel plan, received 25 July 2017
 Transport assessment, received 25 July 2017
 UXO NIS report, received 25 July 2017
 V2 Energy and sustainability statement - Hengrove phase 1, received 25 July 2017
 Outline soft landscape specification, received 25 July 2017
 Application cover letter, received 25 July 2017
 Arboricultural report reduced, received 25 July 2017
 0257-A-0105-C Visibility splay plan sheet 2, received 25 July 2017
 02576 - 0113 Schematic drainage layout foul- sheet 2, received 25 July 2017
 02576-0701-D Vehicle tracking - sheet 1, received 25 July 2017
 02576-0702-E Vehicle tracking - sheet 2, received 25 July 2017
 02576-0703-D Vehicle tracking - sheet 3, received 25 July 2017
 02576-0704-D Vehicle tracking - sheet 4, received 25 July 2017
 02576-A -0100-D Extent of highway adoption sheet 1, received 25 July 2017
 02576-A- 0101-D Extent of highway adoption sheet 2, received 25 July 2017
 02576-A- 0104-C Visibility splay plan sheet 1, received 25 July 2017
 02576-P -0110-C Drainage layout sheet 1, received 25 July 2017
 02576-P-0112 Schematic drainage layout foul - sheet 1, received 25 July 2017
 02576-P-2003-B Proposed levels - sheet 4, received 25 July 2017
 02576-P-0111-C Drainage strategy - sheet 2, received 25 July 2017
 02576-P-2000 Proposed levels - sheet 1, received 25 July 2017
 02576-P-2000 Proposed levels-sheet 2, received 25 July 2017
 02576-P-2000-A Proposed levels-sheet 1, received 25 July 2017
 32507-STL-XX-00-DR-A-XXXX-PL_01 Location plan, received 25 July 2017
 32507-STL-XX-00-DR-A-XXXX-PL_035 Plans and elevations 06 type 4B7P and Castleford, received 25 July 2017
 32507-STL-XX-00-DR-A-XXXX-PL_036 Plans and elevations 07 type Castleford 3 storey, received 25 July 2017
 32507-STL-XX-00-DR-A-XXXX-PL_038 Plans and elevations 09 type 3B5P, 4B6PN, received 25 July 2017
 32507-STL-XX-00-DR-A-XXXX-PL85 Woodland edge view, received 25 July 2017
 32507_STL-00-ZZ-DR-A-XXXX-PL1010 Block A plans and elevations, received 25 July 2017
 32507_STL-00-ZZ-DR-A-XXXX-PL1010 Block B plans and elevations, received 25 July 2017
 32507_STL-00-ZZ-DR-A-XXXX-PL86 View from Hengrove Park towards Lime Street, received 25 July 2017
 32507_STL-00-ZZ-DR-A-XXXX-PL86 Entrance to site from Boulevard, received 25 July 2017
 32507_STL_00-ZZ-DR_A_XXXX_PL88 View south along Maple Street, received 25 July 2017
 32507_STL_00_XX_DR_A_XXXX_PL_02 Existing site plan, received 25 July 2017
 32507_STL_00_ZZ-DR-A-XXXX-PL1010 Elevations - block D, received
 32507_STL_00_ZZ-DR-A-XXXX-PL1010 Floor plans - apartment block C, received
 32507_STL_00_ZZ-DR-A-XXXX-PL1010 Elevations - block C, received
 32507_STL_XX_00_DR_A_XXXX_PL_50 House layout plan, received

Development Control Committee A – 18 October 2017

**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ**

32507_STL_XX_00_DR_A_XXXX_PL_58 Heights plan, received 25 July 2017
 32507_STL_XX_00_DR_A_XXXX_PL_60 Street elevations - sheet 2, received 25 July 2017
 32507_STL_XX_00_DR_A_XXXX_PL_70 Shadow study - 21.03.2017, received 25 July 2017
 32507_STL_XX_00_DR_A_XXXX_PL_71 Shadow study - 21.06.2017, received 25 July 2017
 32507_STL_XX_00_DR_A_XXXX_PL_72 Shadow study - 21.12.2017, received 25 July 2017
 32507_STL_XX_00_DR_A_XXXX_PL_84 Solar strategy plan, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09001- Landscape general arrangement plan, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09101- Tree protection, removal and retention plan, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09401- Tree pit details - soft, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09402- Tree pit details - hard, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09403- Landscape detail - bio retention suds feature, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09404- Landscape detail - brick wall, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09405- Landscape detail - metal fencing, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09406- Landscape detail - timber knee rail, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09406- Landscape detail - timber fencing, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09408- Landscape detail - brick wall with metal railing, received 25 July 2017
 32507_STL_XX_XX_DR_L_ZZZZ_09409- Landscape detail - swale, received 25 July 2017
 32507_STL_XX_XX_RP_L_9075_RP001 Materials board sheet 1, received 25 July 2017
 32507_STL_XX_XX_RP_L_9075_RP002 Materials board sheet 2, received 25 July 2017
 Air quality assessment, received 25 July 2017
 Anomaly investigation and clearance report, received 25 July 2017
 Appendix A: proposed development layout, received 25 July 2017
 Appendix A: Pre-application correspondence and scoping report, received 25 July 2017
 Appendix E: Proposed Metrobus routes, received 25 July 2017
 BREEAM communities report, received 25 July 2017
 32507-STL-XX-00-DR-A-PL_030 PL1 Plans and elevations 01 type Hatton, Thornton, received 4 October 2017
 32507-STL-XX-00-DR-A-PL_031 PL1 Plans and elevations 02 type Maywood, Holmewood, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_032 PL1 Plans and elevations 03 type lockwood, hpwood, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_033 PL1 Plans and elevations 04 Westwood, 4B6P, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_034 PL1 Plans and elevations 05 type 4B6P NV, Chelmsford, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_037 PL1 Plans and elevations 08 type 2B4P, 2B4P SQ, received 4 October 2017
 Accommodation Schedule, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_051 PL1 Site Plan, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_60 PL2 Street elevations - sheet 1, received 4 October 2017
 2507-STL-XX-00-DR-A-PL_62 PL2, received 4 October 2017
 32507_STL_00_ZZ-DR-A-PL10100 PL2 Floor plans - block E, received 4 October 2017
 32507_STL_00_ZZ-DR-A-PL10101 PL2 Elevations - apartment block E, received 4 October 2017
 32507_STL_00_ZZ-DR-A-PL10100 PL2 Floor plans - apartment block D, received 4 October 2017

Development Control Committee A – 18 October 2017

**Application No. 17/03943/F: Land At Hengrove Park (plots A, 2B And C) Whitchurch Lane
Whitchurch Bristol BS14 0JZ**

Reason: For the avoidance of doubt.

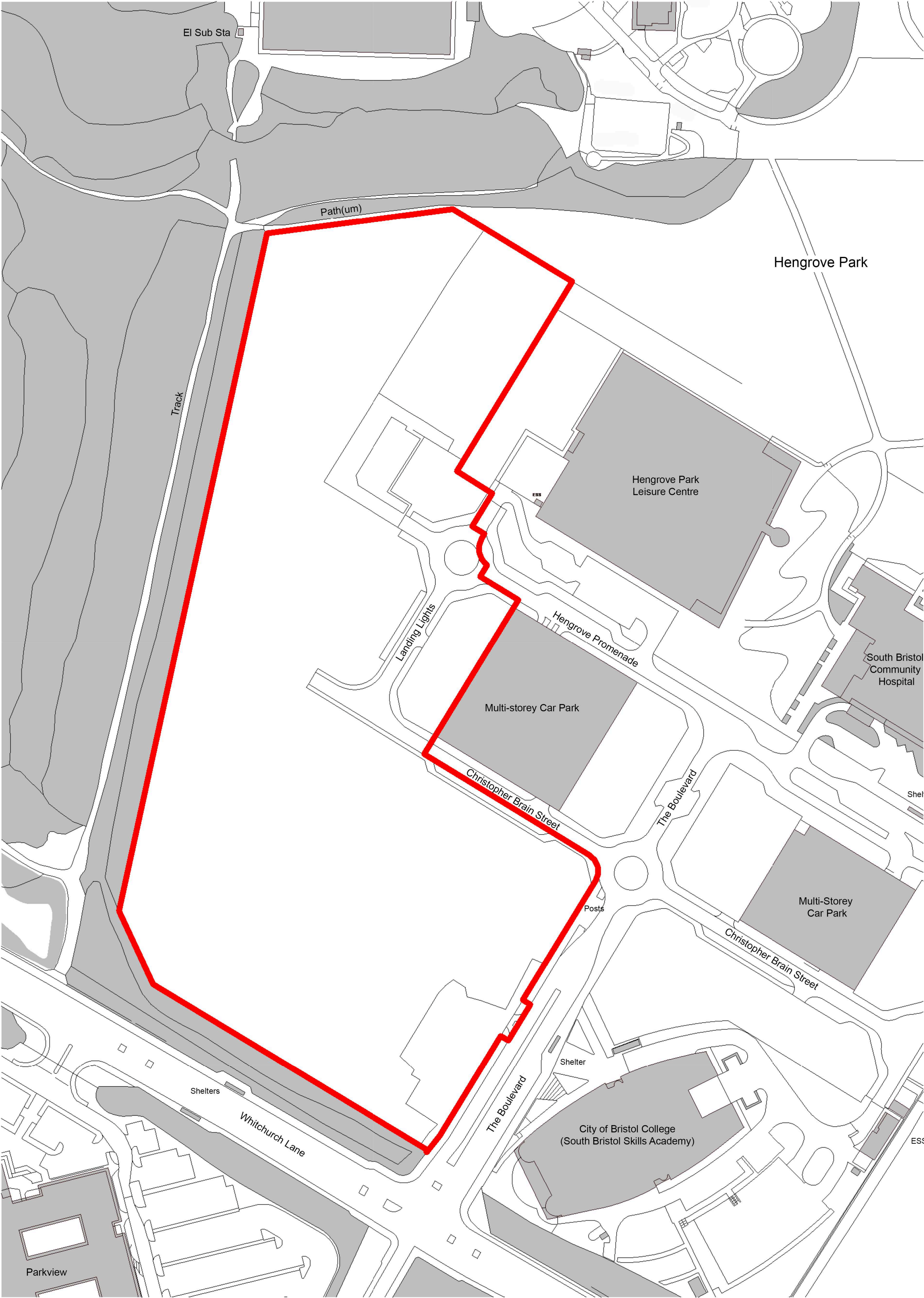
Advices

1. Guidance: Examples of built-in bird and bat boxes are available from:
<http://www.ibstock.com/sustainability-ecozone.asp>
http://www.nhbs.com/brick_boxes_for_birds_eqcat_431.html
 If built-in bird and bat boxes cannot be provided within built structures, they should be provided on trees (with no more than one bird box per tree).
 Bird boxes should be installed to face between north and east to avoid direct sunlight and heavy rain. Bat boxes should face south, between south-east and south-west. Bird boxes should be erected out of the reach of predators and at least 3.5 metres high on publicly accessible sites. For small hole-nesting species bird boxes should be erected between two and four metres high. Bat boxes should be erected at a height of at least four metres, close to hedges, shrubs or tree-lines and avoid well-lit locations. Bat boxes which are being placed on buildings should be placed as close to the eaves (if present) as possible.
Swifts
 Internal nest trays or boxes are particularly recommended for swifts. Swift bricks are best provided in pairs or groups (e.g. at least two or three on a building, avoiding windows). This is because they are usually colonial nesters. Swift boxes/bricks are best located on north, north-east or east facing walls, at least 5 metres high, so that there is a clear distance (drop) below the swift boxes/bricks of 5 metres or more so that there is space for the swifts to easily fly in and out of the boxes. Locating swift boxes under the eaves (where present) is desirable. One of the best designs is those by Schwegler because they are very durable. See below for some websites with examples of swift boxes:
http://www.nhbs.com/schwegler_swift_box_16_tefno_173237.html
<http://swift-conservation.org/Shopping!.htm>
 Further guidance is available at:
<http://www.swift-conservation.org/InternalNestTrays.htm>
2. The most relevant local websites for travel, journey planning and cycling are
www.travelwest.info and www.betterbybike.info Promotion of bus checker apps
www.travelwest.info/apps

Supporting Documents

1. Land At Hengrove Park

1. Location plan
2. Layout plan
3. Street elevations
4. Entrance to site from The Boulevard illustrative view
5. Woodland edge illustrative view



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STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				BE
Kier Living				CHECKED BY
				GM
				ORIGINATOR NO
				32507

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PROJECT
Hengrove Phase 1 For Kier Living

DRAWING TITLE
Location Plan

SUITABILITY STATUS
PL : PLANNING

SCALE
1 : 1250 @ A2

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER | REVISION
32507-STL-XX-00-DR-A-XXXX-PL_01



- | | | |
|--|---|--|
| Tarmac- to Include Ramps | Private Garden | Compacted Gravel Pathway |
| Homezone Block Paving | Adopted Soft Landscape | Paving 6- Refer to Landscape Architects drawings |
| Private Frontage- Block Paving with Permeable Parking Bays | SUDS Landscape- Refer to Landscape Architects drawings | Private Paths- Concrete Textured Slabs |
| Footpath and Margins Block Paving | Soft Landscape - Refer to Landscape Architects drawings | |
| Feature Square Block Paving | Paving 4- Refer to Landscape Architects drawings | |

For further details of materials, please refer to Landscape Architects drawings.

STATUS	NEW	DATE	DESCRIPTION	REVISION
CLIENT			Kier Living	BE
CHECKED BY			GM	
ORIGINATOR NO				32507

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PROJECT
Hengrove Phase 1 For Kier Living

DRAWING TITLE
site plan

SUITABILITY STATUS
PL : PLANNING

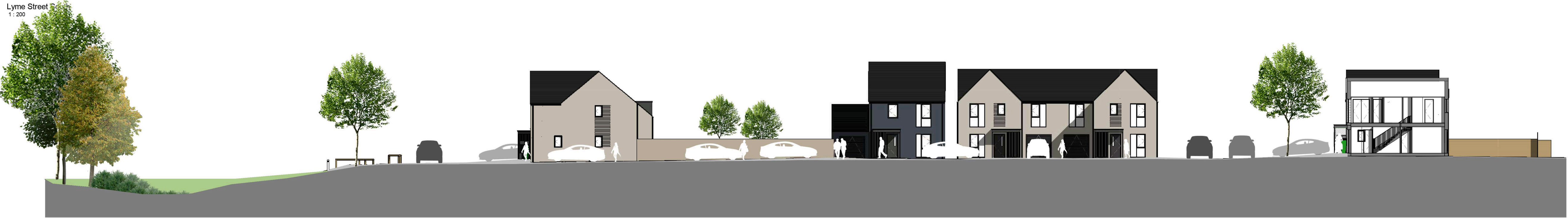
PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER
32507-STL-XX-00-DR-A-XXXX-PL_51

SCALE
1 : 500 @ A0

REVISION



Lyme Street
1 : 200



Beech Homezone North
1 : 200



Page 152

Beech Homezone South
1 : 200



Birch Homezone North
1 : 200



Birch Homezone South
1 : 200

STATUS	REV	DATE	DESCRIPTION	REVISED BY
CLIENT				JP
Kier Living				CHECKED BY
				GVM
				ORIGINATOR NO
				32507

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PROJECT
Hengrove Phase 1 For Kier Living

DRAWING TITLE
Street Elevations Sheet 2

SUITABILITY STATUS PL : PLANNING	SCALE 1 : 200 @ A1
PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER 32507-STL-XX-00-DR-A-XXXX-PL61	REVISION



Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.



A 18.07.2017 Landscaping added

STATUS	REV	DATE	DESCRIPTION
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CLIENT

Kier Living

REVISED BY

GS

CHECKED BY

GVM

ORIGINATOR NO

32507

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PROJECT

Hengrove Phase 1 For Kier Living

DRAWING TITLE

Entrance to site from The Boulevard

SUITABILITY STATUS	SCALE
PL : PLANNING	@ A3

PROJECT	ORIGINATOR	ZONE	LEVEL	TYPE	ROLE	CLASSIFICATION	NUMBER	REVISION
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32507-STL-00-ZZ-DR-A-XXXX-PL87



Responsibility is not accepted for errors made by others in scaling from this drawing.
All construction information should be taken from figured dimensions only.



A 18.07.2017 Landscaping added

STATUS	REV	DATE	DESCRIPTION
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CLIENT

Kier Living

REVISED BY

GS

CHECKED BY

GVM

ORIGINATOR NO

32507

CONSULTANT

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PROJECT

Hengrove Phase 1 For Kier Living

DRAWING TITLE

Woodland Edge view

SUITABILITY STATUS	SCALE
PL : PLANNING	@ A3

PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER	REVISION
32507-STL-XX-00-DR-A-XXXX-PL85	

Development Control A Committee

18th October 2017



Report of: Head of Development Management

Title: Review of Planning Application Requirements Local List

Ward: Citywide

Officer Presenting Report: Gary Collins

Contact Telephone Number: 23762

Recommendation

That the Committee endorses the adoption of the revised Planning Application Requirements List including the Drawings Standards document.

Summary

The Planning Application Requirements Local List sets out the information requirements for different types of applications. If an application does not meet the requirements then it is not registered and the statutory period to determine the application does not begin. The Local List has to be reviewed every two years.

The significant issues in the report are:

A key issue with this review is that it provides an opportunity to tighten up the Council's approach to the receipt and publication of developers' viability appraisals. Adoption of the revised Local List will require major planning applications to be accompanied by viability appraisals from the outset and that this information is made publically available.



Policy

1. Whilst the proposed changes to the Local List don't change Council policy, they will improve how the Council applies Policy BCS17 (Affordable Housing) of the Bristol Local Plan Core Strategy.

Consultation

2. Internal

A briefing paper on this subject was presented to the Cabinet Members for Place and Housing in March 2017. Since then Legal service have advised that this is a non-executive matter and should be decided by the Development Control Committees.

3. External

A six week consultation exercise was undertaken during August and September 2017. The principles behind the proposed changes were also discussed at customer engagement forums, namely the Planning User Group and the Bristol Property Agents Association. Only one response was received during the consultation period which queried the principle of there being a local list, instead saying that there just be one national list that all local planning authorities followed.

Context

4. The Planning Application Requirements Local List allows the local planning authority to set information requirements for specific types of applications. This arrangement was introduced by Central Government around 10 years ago in the interests of applications being determined swiftly (as they would be accompanied by the correct supporting information) and that interested parties would have access to the supporting information from the outset so they could take this into account when making their comments. If an application does not meet the Local List requirements, it is not registered and the period for determining the application does not begin. It is however, a statutory requirements that the Local List is subject to public consultation and that it is reviewed every two years.
5. Whilst all aspects of the Local List have been reviewed, key issues that are dealt with during this review are:
 - Timing of receipt and publication of viability information
 - Information on broadband coverage
 - Drawings standards
6. The level of affordable housing being offered and achieved as part of major planning applications has come under increasing scrutiny over recent months. This has manifested itself in a number of ways:
 - A number of high profile major planning applications have been very carefully scrutinised and, in the case of the Elizabeth Shaw chocolate factory, deferred due to doubts over the developers' ability to provide affordable housing.

- High profile applications have received increasing numbers of representations on the issue of affordable housing from local residents and also organisations such as Acorn
- The Council has received increasing numbers of requests under Freedom of Information for disclosure of developers' viability submissions
- There has been increasing media interest in the delivery of affordable housing

7. Whilst the constraints provided by Central Government policies are largely understood by members (through briefing sessions held in Summer 2016 and case-specific advice), and the planning authority's approach to viability testing is considered to be as robust as possible, there are some improvements that could be made that would improve the transparency and effectiveness of the process.

8. In recent times there have been two key events that should influence the Council's approach to this issue going forward:

- The First Tier Tribunal judgement in the case of Clyne v the Information Commissioner & the London Borough of Lambeth (June 2016), which signals greater disclosure of viability information
- Full Council motion and debate on affordable housing strategy on 13th December 2016 where the following (amongst other things) was resolved: In the case of schemes which do not comply with the Council's guidance on affordable homes; to instruct planning officers to make all information used in the viability process, whether it arises from a council appointed surveyor or a third party, available publicly in good time before a planning application is to be considered.

9. One of the current Local List requirements for major applications (>10 residential units) is for an "Affordable Housing Statement" which is defined as needing to set out the following:

- the numbers of residential units;
- the mix of units, with numbers of habitable rooms and/or bedrooms, or the floor space of habitable areas of residential units;
- plans showing the location of units and their number of habitable rooms and/or bedrooms, and/or the floor space of the units;
- if different levels or types of affordability or tenure are proposed for different units this should be clearly and fully explained;
- design quality standards based on the HCA's technical requirements.

The main weakness of this approach is that it doesn't require the submission of viability information that justifies the affordable housing proportion that is being offered. This information is usually requested by officers once the application has been received and consulted on, meaning that it is normally received and assessment starts partway through the life of the planning application. A major drawback of this is that consultees and interested parties become aggrieved that the offer of affordable housing is either unclear or unsubstantiated. As a result, officers often feel on the "back foot" in negotiating affordable housing and managing the responses of interested parties. Whilst this doesn't ultimately

prejudice the Council's negotiating position, being in reactive mode takes up more officer time. There is also an opportunity to more rigorously enforce the requirement for Affordable Housing Statements to set out the required details of the proposed affordable housing offer.

10. Officers have reviewed the requirements of Affordable Housing Statements to ensure that in future they clearly set out what the affordable housing offer is. An additional requirement is that the statement is accompanied by a full viability appraisal of the submitted scheme. This requirement would be rigorously enforced, meaning that major planning applications that were not accompanied by the necessary information would not be made valid and would not start progressing through the system until this information was provided. This would put the Council on the "front foot" in future negotiations and would enable interested parties to see what the affordable housing offer is from day one and to respond accordingly.
11. Council officers have full access to the developers' viability appraisal once submitted and this is shared with the appointed consultant advising the Council on this matter. The Consultant's advice is then typically made available to members of the relevant DC Committee and is published on the Council's website as one of the planning application documents. The developers' viability information is not circulated or published on the BCC website because the request from the developer is normally that the document is to be treated as confidential information. The lack of access to the submitted viability information is clearly causing understandable frustration to interested parties and members of the DC Committees.
12. Over the last 12 months we have seen an increase in Freedom of Information requests for the submitted viability reports and, whilst there is usually resistance from the developers when this is requested, the Council is normally releasing this information. This approach has disadvantages though because servicing the requests is taking up officer time and also leaves Members and interested parties feeling as if they have had to extract the information from the Council.
13. The resolution passed by Full Council on 13th December, which followed a full debate, provides a clear steer on this issue from an elected member perspective. In addition to this our reading of the *Clyne* judgement is that viability information from developers should be placed in the public domain without delay, unless there is a genuinely commercially sensitive issue (such as a rent free period offer) which would then lead to just that information being redacted. So, we have both a political steer and a legal steer on this issue.
14. The proposal therefore is that, through the revisions to the Local List, it is made clear that the viability information required to make applications valid will also be published on the Council's planning website, without redaction, along with all of the other supporting documents at the start of the application process. This approach will ensure that all interested parties will have access to the same information as Council officers and their appointed consultants.
15. In support of Policy BCS15 (Sustainable design and construction) of the Bristol Local Plan Core Strategy, the Local List will now also require major applications to be accompanied by a Broadband Connectivity Assessment. This will raise the profile of this issue and encourage developers to think about facilitating high speed broadband in their developments.

- 16.** Finally, some of the West of England authorities have been working together on consistent standards that should be met by drawings submitted as part of applications. The revision to the Local List allows the Council to formally adopt these standards and implement them. This will improve the quality of submissions to the benefit of all interested parties.

Proposal

- 17.** That the revised Local List is adopted, incorporating new requirements relating to Affordable Housing Statements, Broadband Connectivity Assessments and the Drawings Standards document. The revised Local List would come into effect from 1st December 2017 and would need to be reviewed again before 1st December 2019.

Other Options Considered

- 18.** The Local List has to be reviewed at this point in time. Not amending the Affordable Housing Statement changes would be to fail to adequately respond to the motion passed by Full Council in December 2016.

Risk Assessment

- 19.** The principle of making viability reports public has been tested at customer engagement forums without adverse reaction. Also, when these reports have been made public against the wishes of developers, legal action has not followed. Not making these changes to the Local List would impair the Council's effectiveness in negotiating affordable housing in an open and transparent way.

Public Sector Equality Duties

- 20a)** Before making a decision, section 149 Equality Act 2010 requires that each decision-maker considers the need to promote equality for persons with the following "protected characteristics": age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex, sexual orientation. Each decision-maker must, therefore, have due regard to the need to:
- i) Eliminate discrimination, harassment, victimisation and any other conduct prohibited under the Equality Act 2010.
 - ii) Advance equality of opportunity between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to --
 - remove or minimise disadvantage suffered by persons who share a relevant protected characteristic;
 - take steps to meet the needs of persons who share a relevant protected characteristic that are different from the needs of people who do not share it (in relation to disabled people, this includes, in particular, steps to take account of disabled persons' disabilities);

- encourage persons who share a protected characteristic to participate in public life or in any other activity in which participation by such persons is disproportionately low.

- iii) Foster good relations between persons who share a relevant protected characteristic and those who do not share it. This involves having due regard, in particular, to the need to –
 - tackle prejudice; and
 - promote understanding.

20b) None of the changes proposed to the Local List have a prejudicial impact on any groups of protected characteristics. Improving the quality and accessibility of information at the outset of the planning application process is likely to be beneficial to all stakeholders.

Legal and Resource Implications

Legal

The Council's Head of Legal Services and Monitoring Officer reviewed this proposal earlier this year and advised that it was a non-executive matter, and therefore should be decided by the Development Control Committees.

Financial

(a) Revenue

N/A

(b) Capital

N/A

Land

N/A

Personnel

N/A

Appendices:

A: Revised Planning Application Requirements Local List

B: Drawings Standards Document

LOCAL GOVERNMENT (ACCESS TO INFORMATION) ACT 1985

Background Papers:

Link to Clyne

judgement: <http://informationrights.decisions.tribunals.gov.uk/DBFiles/Decision/i1808/Clyne,Jermey%20EA-2016-0012%20AMENDED%2023-06-16.pdf>

Link to minutes of Full Council meeting 13th December 2016 (from pg10):

<https://democracy.bristol.gov.uk/documents/g256/Printed%20minutes%2013th-Dec-2016%2014.00%20Full%20Council.pdf?T=1>



Planning Application Requirements Local List 1st August 2017

The local list of Planning Application Requirements is in three parts.

Part 1 sets out what supporting information is required.

Part 2 provides detailed descriptions of documents, where to go for assistance and other report studies that might be required before determination.

Part 3 is a separate document and relates to drawing standards for plans and drawings

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> i.e. <u>National Planning Policy</u> <u>Local Plan policy</u>² 	Types of application or development that require this information
1. <u>Affordable Housing Statement</u>	Core Strategy - BCS17 Affordable Housing Provision SADMP – DM3 Affordable Housing Provision: Smaller Sites	Residential or mixed use development providing 10 or more dwellings
2. <u>Air Quality Assessment</u>	Core Strategy - BCS10 Transport and Access Improvements & BCS23 Pollution SADMP – DM33 Pollution Control, Air Quality and Water Quality	All developments that meet the criteria outlined in Bristol City Councils <u>Air Quality and Land Use Planning Guide</u>
3. <u>Biodiversity Survey and Report</u>	Wildlife and Countryside Act 1981(as amended) The Protection of Badgers Act (1992) The Countryside and Rights of Way Act (2000) The Natural Environment and Rural Communities Act (2006) The Conservation of Habitats and Species Regulations 2010 and the Conservation of Habitats and Species (Amendment) Regulations 2012 Core Strategy - BCS9 Green Infrastructure & BCS15 Sustainable Design and Construction.	All developments in or adjacent to : <ul style="list-style-type: none"> European Site (ie SAC/SPA/Ramsar) Site of Special Scientific Interest (SSSI) In or adjacent to National Nature Reserve (NNR) Site of Nature Conservation Interest (SNCI) Regionally Important Geological Sites (RIGS) Local Nature Reserve (LNR) Wildlife Corridors Priority Habitats (i.e. Section 41 Habitats of Principal

¹ More information on all the local list items and other report studies that might be required before determination are found in Part 2 of this document – just follow the link

² The Local Plan includes the Core Strategy, Site Allocations and Development Management Policies (SADMP) and the Bristol Central Area Plan (BCAP).

Part 1 – Local List of Planning Application Requirements

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	SADMP DM19 - Development and Nature Conservation	<p>Importance in England in the Natural Environment and Rural Communities Act 2006)</p> <ul style="list-style-type: none"> Priority Species (i.e. Section 41 Species of Principal Importance in England in the Natural Environment and Rural Communities Act 2006) should also be surveyed for as well as legally protected species
4. <u>Coal Mining Risk Assessment (CMRA)</u>	SADMP - DM37 Unstable Land	<p>All development in <u>Development High Risk Areas</u> excluding those on the '<u>Exemptions List</u>' e.g. :-</p> <ul style="list-style-type: none"> Householder development Changes of use variation of conditions (unless it relates to the CMRA) advert applications
5. <u>Community Infrastructure Levy (CIL) – Question Form</u>	CIL Charging Schedule approved by full council 18 September 2012.	<p>All planning applications that comprise any of the following:</p> <ul style="list-style-type: none"> New development of in excess of 100 square metres of new / additional floor space The creation of a new dwelling The conversion of a building no longer in use
6. <u>Community Involvement Statement</u>	As set out in the council's Statement of Community Involvement	<p>All major development NB including mixed applications where e.g. a combination of housing and another use would meet the Major threshold.</p>
7. <u>Economic Statement</u>	<p>Core Strategy - BCS8 Delivering a Thriving Economy</p> <p>SADMP – DM12 Retaining Valuable Employment Sites and DM13 Development proposals on Principal Industrial and Warehousing Areas</p> <p>BCAP – BCAP7 Loss of Employment Space and BCAP8 Maritime Industries</p>	<p>All applications where it is proposed to develop existing employment land/buildings within Use Classes B1, B2 or B8 for an alternative use outside these use classes.</p>

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> i.e. <u>National Planning Policy</u> <u>Local Plan</u> policy² 	Types of application or development that require this information
8. <u>Environmental Impact Assessment</u> (EIA)	Town and Country Planning (Environmental Impact Assessment) <u>Regulations 2017</u>	In accordance with the 2017 Regulations (Schedules 1 and 2 type development)
9. <u>Flood Risk Assessment</u> (FRA) <u>Flood Risk Sequential Test Evidence</u> (FRSTE)	Core Strategy - BCS16 Flood Risk and Water Management BCAP – BCAP 5 Development and Flood Risk	<p>FRA for most developments within one of the <u>flood zones</u>. This includes developments:</p> <ul style="list-style-type: none"> in flood zone 2 or 3 including <u>minor development</u> and <u>change of use</u> more than 1 hectare (ha) in flood zone 1 less than 1 ha in flood zone 1, including a change of use in development type to a more vulnerable class (for example from commercial to residential), where they could be affected by sources of flooding other than rivers and the sea (for example surface water drains, reservoirs) in an area within flood zone 1 which has critical drainage problems as notified by the Environment Agency <p>These requirements are set out at: https://www.gov.uk/guidance/flood-risk-assessment-for-planning-applications.</p> <p>FRSTE for all applications (except for minor applications or change of use only- NB excluding change of use to a caravan, camping or chalet site) within flood zones 2, 3a and 3b.</p>
10. Utilities		
10a <u>Foul Sewerage and Utilities</u>	Core Strategy - BCS16 Flood Risk and Water Management	<ul style="list-style-type: none"> all super major³ applications; all applications where non-mains sewerage is proposed.

³ Development in excess of 100 dwellings or 10,000m² of new commercial or industrial floor space

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> i.e. <u>National Planning Policy</u> <u>Local Plan</u> policy² 	Types of application or development that require this information
<u>Assessment</u>		
10b <u>Broadband Connectivity Assessment</u>	Core Strategy – BCS15 Sustainable Design and Construction	<ul style="list-style-type: none"> All major development
11. <u>Heritage Statement (including Historical, Archaeological features and Scheduled Ancient Monuments)</u>	<p>Core Strategy - BSC22 Conservation and the Historic Environment</p> <p>SADMP – DM26 Local Character and Distinctiveness and DM31 Heritage Assets</p>	<ul style="list-style-type: none"> applications for planning permission affecting a nationally or locally listed building or its curtilage; applications for Listed Building Consent; planning applications affecting a conservation area or its setting; applications for demolition within a Conservation Area; planning application affecting nationally and locally designated parks and gardens; planning application affecting an ancient monument or its setting; planning application affecting undesignated heritage assets that are recorded on the Historic Environment Record including: <ul style="list-style-type: none"> known archaeological sites; known historic buildings.
12. <u>Land Contamination Assessment</u>	<p>Core Strategy - BCS23 Pollution</p> <p>SADMP – DM34 Contaminated Land</p>	<p>All applications where</p> <ul style="list-style-type: none"> The proposed end use is sensitive to contamination The sites are known or suspected of being affected by current or previous contaminating land uses The proposed end use could cause contamination
13. <u>Lighting Assessment</u>	<p>Core Strategy - BCS23 Pollution</p> <p>SADMP – DM33 Pollution Control, Air Quality and Water Quality</p>	All applications including or for floodlighting
14. <u>Noise Impact Assessment</u>	<p>Core Strategy - BCS23 Pollution</p> <p>SADMP – DM33 Pollution Control, Air Quality and</p>	<ul style="list-style-type: none"> Applications for noise sensitive development (e.g. includes residential, schools and hospitals) adjacent to major

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> • i.e. <u>National Planning Policy</u> • <u>Local Plan</u> policy² 	Types of application or development that require this information
	Water Quality and DM35 Noise Mitigation	road/transport infrastructure and other significant sources of noise; <ul style="list-style-type: none"> • Applications for development that involve activities that may generate significant levels of noise, e.g new commercial development in Use Classes B2 or B8 adjacent to existing residential development.
15. <u>Open Space Assessment</u>	Core Strategy - BCS9 Green Infrastructure SADMP – DM16 Open Space for Recreation	All major residential or mixed use development, which create a need for open space
16. <u>Planning Obligations (s106) Statement</u>	Planning Obligations Supplementary Planning Document (adopted 27/09/12) Core Strategy - BCS11 Infrastructure and Developer Contributions	All Major development
17. <u>Sustainability Statement and Energy Strategy</u>	Core Strategy – BCS13 Climate Change, BCS14 Sustainable Energy, BCS15 Sustainable Design and Construction BCS16 Flood Risk and Water Management BCAP - BCAP20 Sustainable design standards BCAP21 Connection to heat networks BCAP25 Green infrastructure in city centre developments SADMP - DM15 Green Infrastructure Provision DM 29 Design of New Buildings	All planning applications for new residential, mixed use, commercial, retail, community or leisure uses with the following exceptions : <ol style="list-style-type: none"> 1. “Householder” applications for alterations and extensions to dwelling houses. 2. Alterations and extensions to existing non-residential buildings, including: <ul style="list-style-type: none"> ▪ Extensions of up to 10% additional gross internal floorspace, to a maximum of 250m². ▪ External works where no additional floorspace is being created, such as: <ul style="list-style-type: none"> ▪ New air-conditioning units ▪ New shopfronts ▪ New windows 3. Applications for planning permission proposing a “change of use” only (unless over 1,000m² floorspace).

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> • i.e. <u>National Planning Policy</u> • <u>Local Plan</u> policy² 	Types of application or development that require this information
Page 166		<p>The exemption for changes of use is only offered to proposals that involve no increase in floorspace or subdivision of units. For example:</p> <ul style="list-style-type: none"> ▪ An application that sought only to change the use of a retail unit from a shop to a building society, potentially including some external works e.g. a new shopfront. would be exempt. ▪ An application that sought both to change the use of a retail unit from a shop to a building society and also to extend the premises would not be exempt. ▪ An application that proposed the conversion of a house to two flats or the conversion of an office block to multiple units of student housing would not be exempt. <p>4. Applications that are themselves solely for the installation of energy efficiency measures or renewables.</p>
18. <u>Sustainable Drainage System Strategy</u>	Core Strategy – BCS16 Flood Risk and Water Management	All Major applications
19. <u>Telecommunication information</u>	SADMP – DM36 Telecommunications	Telecoms development
20. <u>Town Centre Uses – impact assessment</u>	Core Strategy – BCS7 Centres and Retailing SADMP – DM7 Town Centre Uses BCAP – BCAP14 Location of larger retail development in Bristol City Centre	<p>Within Bristol City Centre:</p> <ul style="list-style-type: none"> • All retail, development of 500m² or more in any location outside the Primary Shopping Areas. <p>Outside Bristol City Centre:</p> <ul style="list-style-type: none"> • All retail, development of 500m² or more in any location outside the Primary Shopping Areas or Local Centres. • Development in Use Classes A2 or A5 of 1,500m² or more in

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> • i.e. <u>National Planning Policy</u> • <u>Local Plan</u> policy² 	Types of application or development that require this information
		all locations outside centres. <ul style="list-style-type: none"> • Leisure development of 2,500 m² or more in all out of centre locations • Office development^s of 10000m² or more in all out of centre locations.
21. <u>Transport Statement/Assessment</u>	Core Strategy - BCS10 Transport & Access Improvements SADMP – DM23 Transport Development Management	All developments that generate significant amounts of movement
22. <u>Travel Plan</u>	Core Strategy - BCS10 Transport & Access Improvements SADMP – DM23 Transport Development Management	All developments that generate significant amounts of movement
23. <u>Tree Survey and/or Arboricultural Statement</u>	Core Strategy - BCS9 Green Infrastructure SADMP – DM17 Development Involving Existing Green Infrastructure	An arboricultural report (see Table 2) must be submitted where there are trees within a proposed application site, or on land adjacent to an application site (including trees in neighbouring gardens and street trees), that could influence or be affected by the development, including works such as site access, service routes and site compounds. Information will be required on which trees are to be removed and retained, the means of protecting those to be retained during demolition and construction works and compensatory planting for removed trees.
24. <u>Ventilation and Extraction Statement</u>	Core Strategy - BCS21 Quality Urban Design & BCS23 Pollution SADMP – DM33 Pollution Control, Air Quality and Water Quality	All applications where extraction equipment for the preparation of cooked food is to be installed.(excluding alterations to existing dwellings and proposals for new dwellings)
25. <u>Wildlife Survey and Report</u>	Wildlife and Countryside Act 1981(as amended) The Protection of Badgers Act (1992) The Countryside and Rights of Way Act (2000) The Natural Environment and Rural Communities Act (2006)	All applications involving new building works and/or the demolition of existing buildings, including conversions of roof spaces, where the application proposals will affect a nationally or internationally protected species or their habitat <ul style="list-style-type: none"> • Priority Habitats (i.e. Section 41 Habitats and Species of

Part 1 – Local List of Planning Application Requirements

Local List Item ¹	Justification & details of the policy driver <ul style="list-style-type: none"> • i.e. <u>National Planning Policy</u> • <u>Local Plan</u> policy² 	Types of application or development that require this information
	<p>The Conservation of Habitats and Species Regulations 2010 and the Conservation of Habitats and Species (Amendment) Regulations 2012</p> <p>Core Strategy – BCS9 Green Infrastructure SADMP – DM19 Development and Nature Conservation</p>	<p>Principal Importance in England in the Natural Environment and Rural Communities Act 2006)</p> <ul style="list-style-type: none"> • Priority Species (i.e. Section 41 Species of Principal Importance in England in the Natural Environment and Rural Communities Act 2006) should also be surveyed for as well as legally protected species

NB - This local list does not limit the council's ability to request additional information in the event that further issues arise during the determination period, and are considered to be a material consideration in the determination of the application. For example it may be necessary to request a Geotechnical Survey and design or a Daylight/Sunlight Assessment.

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Affordable Housing Statement</p> <p>All proposals for 10 or more dwellings require an element of affordable housing to be provided. If policy compliant affordable housing is not being proposed this needs to be clearly identified at the outset of the planning application process. The justification for below-policy provision of affordable housing needs to be provided before a planning application is validated and this information will be uploaded to the BCC website, along with the other documents submitted in support of an application. The Affordable Housing Statement shall include the following:</p> <p><u>Affordable Housing</u></p> <p>Page 169</p> <ul style="list-style-type: none"> • The number of proposed units that fall into the Council's definition of Affordable Housing • The type of affordable housing being proposed (social rent, shared ownership etc.) • Plans showing the location of affordable housing units, the type of affordable housing, and the number of bedrooms for each unit • Where below-policy affordable housing is being proposed, the Affordable Housing Statement shall be accompanied by a full, un-redacted Viability Appraisal of the proposed development. <p><u>All Types of Housing</u></p> <ul style="list-style-type: none"> • The total number of residential units • The mix of units, with numbers of habitable rooms and/or bedrooms, or the floor space of habitable areas of residential units; 	<p>BCC Affordable Housing Practice Note at <u>Affordable Housing – information for developers and homebuilders</u></p>
<p>Air Quality Assessment</p> <p>Report indicating the change in air quality resulting from the proposed development and/or assessment of impacts on receptors introduced into an area of existing poor air quality, outlining appropriate mitigation measures as necessary.</p>	<p>Local and national planning guidance relating to air quality can be found at <u>Air Quality</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Biodiversity Survey and Report</p> <p>Undertaken by a qualified ecological consultant at an appropriate time of year, information should be provided on existing nature conservation interest of the site and adjacent land and the possible impacts on the habitats and species present, in order to allow full consideration of those impacts. Where proposals are being made for mitigation and/or compensation measures, information to support those proposals will be needed.</p> <p>Information might form part of an Environmental Statement, where one is necessary. Certain proposals which include work such as the demolition of older buildings or roof spaces, removal of trees, scrub, hedgerows, rough grassland or alterations to watercourses may affect protected or notable species and you will need to provide information on use of the site by such species, any potential impacts on them and any mitigation proposals for such impacts.</p>	<p>Government Circular 06/2005: <u><i>Biodiversity and Geological Conservation – Statutory obligations and their impact within the planning system</i></u> (ODPM Circular 06/2005, and</p> <p>A useful source of information is the Bristol Regional Environmental Records Centre (BRERC) www.brerc.org.uk</p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Coal Mining Risk Assessment</p> <p>The Coal Mining Risk Assessment should be prepared by a suitably qualified and competent person. It should contain:</p> <ul style="list-style-type: none"> • site specific coal mining information – (including past/present/future underground mining, shallow coal workings, mine entries (shafts or adits), mine gas, within an area what has a current licence to extract coal, geological features, any recorded surface hazards, or within a former or present surface mining (old opencast) area; • identify what risks these coal mining issues, including cumulative effects pose to the proposed development; • identify how coal mining issues have influenced the proposed development and whether any other mitigation measures are required to manage those issues and/or whether any changes have been incorporated into the development.; • any development that involves intrusive activities which intersect, disturb or enter any coal seams, coal mine workings or mine entries will require the prior written permission of The Coal Authority. <p>Note - if an Environmental Statement is required by the Town and Country Planning (Environmental Impact Assessment) (England and Wales) Regulations 1999 as amended, it is suggested that the CMRA is included within the ES</p>	<p><u>The Coal Authority website</u> E-mail the Coal Authority planningconsultation@coal.gov.uk</p>
<p>Community Infrastructure Levy (CIL) <u>Question Form</u></p>	<p>The councils <u>Community Infrastructure Levy</u> web page.</p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Community Involvement Statement</p> <p>The statement should set out how the applicant has complied with the requirements for pre-application consultation set out in the Council's Statement of Community Involvement (SCI). The statement should demonstrate that the views of the local community have been sought and taken into account in the formulation of development proposals.</p> <p>NB To make the Community Involvement Statement as accessible as possible, it must be submitted as a free standing document and not be part of a larger document.</p>	<p>The “Ground Rules” for community involvement are set out on pages 5-7 of the SCI. There are also guidelines for community involvement for major planning developments.</p> <p>The administration of community involvement can be assisted by organisations such as the Bristol Neighbourhood Planning Network – email networkadministrator@bristolnbn.net.</p>
<p>Daylight / Sunlight Assessment</p> <p>The document should assess the impact of proposals on adjoining properties, including associated gardens or amenity space, in respect of potential loss of daylight and sunlight.</p>	<p>Further guidance is provided in, for example, Building Research Establishment guidelines on daylight assessments –Site layout planning for daylight and sunlight: a guide to good practice BRE Report 209, 1991.</p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Economic Statement</p> <p>Applications involving the loss of land or buildings last used for employment purposes should be accompanied by a report setting out the following:</p> <ul style="list-style-type: none"> • details of existing floorspace to be lost for each use; • evidence that the site has been marketed in accordance with the Council's published marketing guidelines. • evidence of why the site is no longer capable of offering accommodation for employment uses; • evidence of why the use of the site for employment purposes raises unacceptable environmental or traffic problems; • a statement explaining why an alternative mix of uses offers greater potential benefits to the community, and explaining why the site is not required to meet economic development or local employment needs. 	<p>See the guidance document <u>Marketing guidelines for a change of use planning application</u></p>
<p>Energy Strategy</p> <p>The energy strategy should address the requirements of policies BCS13, BCS 14 and BCAP 20, demonstrating the application of the energy hierarchy, and setting out how overall energy use will be minimised through the design (including through additional energy efficiency measures) to achieve energy performance beyond Building Regulations, renewable energy incorporated to reduce CO₂ emissions by a further 20%, and addressing the requirement to incorporate, where feasible, infrastructure for district heating within heat priority areas. The energy strategy should also demonstrate that the heating and cooling systems have been selected according to the heat hierarchy presented within Policy BCS14, and how the development has been designed to be resilient to future climate change in accordance with BCS13. This can be included as part of the <u>Sustainability Statement</u>.</p>	<p>Bristol City council Practice Note – <u>Climate Change and Sustainability, December 2012.</u> <u>BREEAM</u> <u>Regen - South West</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Environmental Impact Assessment (EIA)</p> <p>The 2017 Regulations set the screening threshold for Schedule 2 ‘Urban Development Projects’ at:</p> <ul style="list-style-type: none"> • The development includes more than 1 hectare of urban development which is not dwelling house development; or • The development includes more than 150 dwellings; or • The overall area of the development exceeds 5 hectares. <p>Where an EIA is required, Schedule 4 to the regulations sets out the information that should be included in an Environmental Statement.</p> <p>You may request a ‘screening opinion’ (i.e. to determine whether EIA is required) and a “scoping opinion” (scope of EIA) by writing to us before submitting a planning application. In cases where a full EIA is not required, we may still require environmental information to be provided.</p>	<p>Further guidance is available in NPPG – <u>Environmental Impact Assessment</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Flood Risk Assessment (FRA)</p> <p>The FRA should address the issue of flood risk to both property and people</p> <p>The FRA should identify and assess the risks of all forms of flooding to and from the development and demonstrate how these flood risks will be managed, taking climate change into account. This should include a response to the exception test as set out in the NPPF.</p> <p>The FRA should identify opportunities to reduce the probability and consequences of flooding. The FRA should include the design of surface water management systems including Sustainable Drainage Systems (SUDs) and address the requirement for safe access to and from the development areas at risk of flooding.</p>	<p>National Planning Practice Guidance: <u>Flood Risk and Coastal Change</u> has guidance on development in areas at risk of flooding.</p> <p>Flood zones maps are available from the <u>Environment Agency</u>, but reference should be made to the council's latest flood risk evidence where available. The agency has also produced an online flood zone matrix, which sets out whether or not a flood risk assessment is required.</p> <p><u>FRA & general advice to applicants and agents</u></p> <p><u>Flood Risk Standing Advice</u></p>
<p>Flood Risk Sequential Test</p> <p>This statement should include evidence to demonstrate that a sequential approach to site selection has been undertaken.</p>	<p>Bristol City Council Practice Note Flood Risk Sequential Test – August 2013 found at <u>Flood Risk and drainage for developers</u></p>
<p>Foul Sewage and Utilities Assessment</p> <p>Foul Sewage</p> <p>All new buildings need separate connections to foul and storm water sewers. If an application proposes to connect a development to the existing drainage system then details of the existing system should be shown on the application drawing(s). It should be noted that in most circumstances surface water is not permitted to be connected to the public foul sewers</p>	<p>Guidance on what should be included in a non-mains drainage assessment is given in <u>Planning Practice Guidance</u></p> <p><u>Approved Documents including Part H</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Where the development involves the disposal of trade waste or the disposal of foul sewage effluent other than to the public sewer, then a fuller foul drainage assessment will be required including details of the method of storage, treatment and disposal. A foul drainage assessment should include a full assessment of the site, its location and suitability for storing, transporting and treating sewage. Where connection to the mains sewer is not practical, then the foul/non-mains drainage assessment will be required to demonstrate why the development cannot connect to the public mains sewer system and show that the alternative means of disposal are satisfactory.</p> <p>If the proposed development results in any changes/replacement to the existing system or the creation of a new system, scale plans of the new foul drainage arrangements will also need to be provided. This will include a location plan, cross sections/elevations and specification.</p> <p>Drainage details that will achieve Building Regulations Approval will be required. If connection to any of the above requires crossing land that is not in the applicant's ownership, other than on a public highway, then notice may need to be served on the owners of that land.</p> <p>Utilities</p> <p>The statement should indicate how the development connects to existing utility infrastructure systems.</p> <p>Most new development requires connection to existing utility services, including electricity and gas supplies, telecommunications and water supply, and also needs connection to foul and surface water drainage and disposal.</p> <p>Two planning issues arise; firstly, whether the existing services and infrastructure have sufficient capacity to accommodate the supply/service demands which would arise from the completed development, and secondly, whether the provision of services on site would give rise to any environmental impacts, for example, excavations in the vicinity of trees or archaeological remains.</p>	

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>A utilities statement should demonstrate:</p> <ul style="list-style-type: none">• that the availability of utility services has been examined and that the proposals would not result in undue stress on the delivery of those services to the wider community;• that proposals incorporate any utility company requirements for substations, telecommunications equipment or similar structures;• that service routes have been planned to avoid as far as possible the potential for damage to trees and archaeological remains;• where the development impinges on existing infrastructure the provisions for relocating or protecting that infrastructure should have been agreed with the service provider.	

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Broadband Connectivity Assessment</p> <p>Applications for planning permission should be accompanied by evidence of the superfast broadband connectivity of the site. This should take the form of a connectivity assessment, or similar information, from one or more broadband infrastructure providers evidencing the availability of at least superfast broadband speeds⁴.</p> <p>Where superfast broadband connectivity is available, applications should set out proposals to connect to this service and make it available to occupiers.</p> <p>Where superfast broadband connectivity is not currently available:</p> <ul style="list-style-type: none"> • Applications should be accompanied by evidence that discussions have been held with a range of providers to upgrade infrastructure to deliver superfast broadband or, preferably, full fibre connections⁵. • Where one or more providers have agreed to provide superfast broadband connectivity, applications should include proposals to connect to this service and make it available to occupiers. • Where no provider has agreed to provide superfast broadband connectivity, applications should include proposals to incorporate additional dedicated telecommunications ducting to enable the provision of superfast broadband in future. 	<p>Broadband Connectivity Practice Note (coming soon)</p>

⁴ Free connectivity assessments are available from BT Openreach and Virgin Media which will show expected speeds on the development.

⁵ Superfast broadband connectivity is often available from telecommunications providers free of charge for development over a certain scale, provided that sufficient notice is given, typically at least 12 months prior to first occupation. In some cases, providers may request a contribution from the developer.

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Geotechnical Survey and design</p> <p>Required where it is known or suspected that the land to be built on is unstable or potentially unstable and this requires a specialist investigation and assessment to determine the stability of the ground and to identify any remedial measures required to deal with the instability.</p>	
<p>Heritage Statement (including Historical, Archaeological features and scheduled Ancient Monuments)</p> <p>For applications within or adjacent to a conservation area, an assessment of the impact of the development on the character and appearance of the area will be required.</p> <p>For all other applications, such as planning applications, either related to or impacting on heritage assets or their settings, a written statement, supported by appropriate plans and photographs should be submitted that includes:</p> <ul style="list-style-type: none"> • plans showing historic features that exist on or adjacent to the application site; • an analysis of the significance of the archaeology, history and character of the heritage asset; • an assessment of the impact on the special character of the heritage asset. <p>The scope and degree of detail necessary in a Heritage Statement will vary according to the particular circumstances of each application, however, general guidance is provided below. Applicants are advised to discuss proposals with the council's City Design Group before any application is made.</p> <p>For applications for listed building consent, a written statement supported by appropriate plans and photographs should be submitted that includes:</p> <ul style="list-style-type: none"> • a schedule of all works, including internal works, to the listed building(s); • an audit of features of importance (including photographs keyed to a plan), such as ornamental and decorative features and fittings that will be affected by the proposals; 	<p>BCC SPD7: Archaeology found on our supplementary planning documents web page.</p> <p>For advice see Archaeology or email archaeology@bristol.gov.uk</p> <p>Know Your Place to find out if a building is nationally or locally listed or within a conservation area.</p> <p>See conservation area character appraisals</p> <p>Email: conservation@bristol.gov.uk</p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p> <ul style="list-style-type: none"> • an analysis of the significance of archaeology, history and character of the building; • the principles of and justification for the proposed works and their impact on the special character of the building and its setting; • where appropriate, a structural survey. </p> <p>For applications for conservation area consent, a written statement supported by appropriate plans and photographs should be submitted that includes:</p> <p> <ul style="list-style-type: none"> • an analysis of the character and appearance of the building or structure; • the principles of and justification for the proposed demolition; • an assessment of the impact on the special character of the area; • where appropriate, a structural survey. </p> <p>For applications affecting archaeological assets, the statement should include desk-based archaeological assessment and archaeological evaluation report in accordance with BCC SPD7: Archaeology.</p> <p>The assessment should address issues relating to archaeological investigation of the site and the preservation and/or recording of items of historic or archaeological importance.</p>	

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Land Contamination Assessment</p> <p>The report should determine the existence of contaminated land, its nature and the risks it may pose to the future occupiers of the site an environment and whether remedial measures are feasible to satisfactorily reduce the contamination to an acceptable level.</p> <ul style="list-style-type: none"> Where contamination is known or suspected or the development site is in the vicinity of such land, a report with a desk study listing current and historic uses of the site and adjoining land, together with a site reconnaissance and preliminary risk assessment (including a conceptual site model) shall be provided, to determine the likelihood of contamination. This Desk Study should be submitted with the planning application. Where the land contamination assessment identifies the potential for contamination to be present, a site investigation is likely to be required to confirm the site conditions. Where contamination poses an unacceptable risk, developers will need to demonstrate that those risks will be successfully addressed via remediation. Upon completion of the remedial works a verification report is required to demonstrate the site is suitable for use Remediation works will require verification to confirm their success. 	<p>Advice at <u>Land contamination for developers</u></p> <p>Guidance is available in 'Model Procedures for the Management of Land Contamination (CLR11)' by Defra/Environment Agency, other industry led standards should be used where appropriate (e.g.BS10175: 2011 Investigation of potentially contaminated sites. Code of practice)</p> <p><u>Planning Practice guidance</u></p> <p><u>Advice on Land contamination from Environment Agency</u></p> <p><u>Land contamination: Risk Management</u></p> <p><u>Groundwater advice</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Lighting Assessment</p> <p>An assessment should provide details of external lighting and the proposed hours when the lighting would be switched on. These details shall include a layout plan with beam orientation and a schedule of the equipment in the design, plus the expected level of luminance and glare. Lighting assessments will also be required to detail the level of luminance for all advertisements.</p> <p>Where a proposal involves the scheme for the installation of Floodlights for an area (e.g. a Sports Pitch), these details shall include a Light Contour diagram based on a layout of the proposed facility in its context, and showing projected lux levels including ‘backlight’, which where there are differences in ground levels, is to be superimposed on a topographical survey of the site and its immediate environs.</p>	<p><u>Lighting in the countryside: Towards good practice (1997)</u> demonstrates what can be done to lessen the effects of external lighting, including street lighting and security lighting. The advice is applicable in towns as well as the countryside.</p> <p>Further guidance is provided in ‘Statutory Nuisance from Insects and Artificial Light – Guidance on sections 101 to 103 of the Clean Neighbourhoods and Environment Act, 2005, published by Defra and the Institution of Lighting Engineers Guidance Notes for the Reduction of Obstructive Light GN01 2005.</p>
<p>Noise Impact Assessment</p> <p>Noise Assessments should be prepared by suitably qualified acousticians. They should usually outline the existing noise environment, the potential noise sources from the development, or the noise sources likely to affect the development, together with any mitigation measures.</p>	<p>Advice should be sought from the council’s Pollution Control Team for individual requirements.</p> <p><u>Planning Practice guidance</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Open Space Assessment</p> <p>Plans should show any areas of existing or proposed open space within or adjoining the application site</p> <p>Planning permission is not normally given for development of existing open spaces, which local communities need. However, in the absence of a robust and up-to-date assessment by a local authority, an applicant for planning permission may seek to demonstrate through an independent assessment that the land or buildings are surplus to local requirements. Any such evidence should accompany the planning application.</p>	<p>See Bristol Parks and Green Spaces Strategy</p>
<p>Planning obligations (section 106) Statement</p> <p>Planning obligations, or Section 106 Agreements are private agreements negotiated between local planning authorities and persons with an interest in a piece of land or developers, and are intended to make acceptable development which would otherwise be unacceptable in planning terms.</p> <p>Details of the draft obligation(s) being proposed should be submitted with the application. It is also helpful to confirm details of the applicant's solicitor and also proof of title regarding land subject to the planning obligations.</p>	<p>The Council's approach to planning obligations is set out in our Planning Obligations Supplementary Planning Document.</p>
<p>Sustainability Statement</p> <p>Sustainability statements should demonstrate how sustainable design and construction have been addressed, including reducing energy consumption and carbon emissions, minimising waste and increasing recycling, conserving water resources, incorporating green infrastructure and sustainable drainage (SUDS), minimising pollution, maximising the use of sustainable materials and adaptation to Climate Change. This should include a BREEAM assessment in the case of major development and a BREEAM for Communities assessment in the case of super-major development.</p>	<p>BCC Practice Note – Climate Change and Sustainability. December 2012</p> <p>See also BREEAM</p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Sustainable Drainage System Strategy</p> <p>The content for a Sustainable Drainage System Strategy is found in the West of England Sustainable Drainage Developer Guide Section 1, under the section ‘Sustainable drainage strategy (surface water): Checklist</p>	<p><u>The West of England Guide</u></p>
<p>Telecommunication information</p> <p>Applications for mast and antenna development by mobile phone network operators should be accompanied by a range of supplementary information including as set out in the Code of Best Practice on Mobile Network Development in England (Published 24 July 2013):</p>	<p><u>Code of Practice</u></p>
<p>Town Centre Uses – impact assessment</p> <p>To assess the impact of retail and other town centre developments on matters including the vitality and viability of the City centre and town, district and local centres and travel demand.</p> <p>The level and type of evidence and analysis required to address the key considerations should be proportionate to the scale and nature of the proposal.</p> <p>The assessment should include the need for development, whether it is of an appropriate scale, that there are no sites close to a centre for the development, that there are no unacceptable impacts on existing centres and if locations are accessible.</p> <p>Proposals should also be accompanied by evidence showing how the development would contribute to social inclusion in terms of access to jobs, services and facilities, training opportunities and other positive effects on disadvantaged communities.</p>	

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Transport Assessment or Statement</p> <p>Information will include all existing and proposed commercial and residential vehicular and pedestrian movements to and from the site. Loading areas and arrangements for manoeuvring, servicing and parking of vehicles should also be clearly identified. It should describe and analyse existing transport conditions, how the development would affect those conditions and any measures proposed to overcome any problems.</p> <p>For smaller schemes, a Transport Statement should simply outline the transport aspects of the application, while for major proposals; the TA should illustrate accessibility to the site by all modes of transport, and the likely modal split of journeys to and from the site.</p> <p>The TA should also give details of proposed measures to improve access by public transport, walking and cycling, to reduce the need for parking associated with the proposal, and to mitigate transport impacts.</p>	<p>Further guidance is available at <u>NPPG: Transport Assessments and Statements</u></p>
<p>Travel Plan</p> <p>A draft travel plan should outline the way in which the transport implications of the new development will be managed in order to ensure the minimum environmental, social and economic impacts.</p> <p>Developers should state how new occupiers or customers of the development will use alternative means of travel, which do not involve private vehicle use.</p> <p>The Travel Plan should include details of targets and arrangements for monitoring.</p>	<p>Further guidance is available at <u>NPPG: Travel Plans</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Tree Survey/Arboricultural Statement Where there are trees within the application site or on land adjacent to it that could be influenced or affected by the development (including street trees) and those trees have a stem diameter of greater than 75 mm when measured at 1.5 metres above ground level, the following information will be required.</p> <p>Full Planning Application</p> <ol style="list-style-type: none"> 1) A full survey of all trees on site and within influencing distance of the proposal (with a stem diameter of greater than 75 mm when measured at 1.5 metres above ground level) in accordance with BS5837: 2012 Trees in Relation to Design, Demolition and Construction - Recommendations. 2) An Arboricultural Impact Assessment and Tree Protection Plan showing trees to be retained and removed, and setting out appropriate physical protection for retained trees during construction works. 3) Any pre-development tree surgery works. 4) An Arboricultural Method Statement where works are needed within the Root Protection Areas (see BS5837: 2012) of retained trees or where retained trees cannot be protected by standard physical means such as fencing and/or ground protection. 5) Proposed location of underground services. 6) Mitigation planting for any removed trees. <p>The survey/AIA should be prepared by a qualified arboriculturist.</p> <p>Householder Application</p> <ol style="list-style-type: none"> 1) Scaled plan showing exact location of trees affected by the proposal (including any work associated with the proposal such as access to the site and services runs) identified with a reference number (e.g., T1, T2), their stem diameter when measured at 1.5 metres above ground, and whether they are to be removed or retained. 2) Any pre-development tree surgery works. 3) Mitigation planting for any removed trees. <p>If any of the trees is covered by a Tree Preservation Order, then the level of requirement is as for Full Planning</p>	<p><u>BS5837: 2012 Trees in relation to construction</u></p>

Part 2 – Detailed description of documents and where to go for assistance

Description of document	Where to go for assistance
<p>Ventilation and Extraction Statement</p> <p>Details of the position and design of ventilation and extraction equipment. This shall include technical specification including predicted noise levels (and existing background noise levels), noise mitigation measures and odour abatement techniques.</p> <p>Elevation drawings showing the size, location and external appearance of plant and equipment will be required.</p>	<p>Further guidance is provided in Guidance on the Control of Odour & Noise from Commercial Kitchen Exhaust Systems, published electronically by Defra, Product Code PB10527.</p>
<p>Wildlife Survey and Report</p> <p>Where appropriate, accompanying plans should indicate any significant wildlife habitats or features and the location of any species protected under the Wildlife and Countryside Act 1981, the Conservation (Natural Habitats etc) Regulations 1994 or the Protection of Badgers Act 1992.</p>	<p>See Biodiversity Survey and Report</p>



Drawing standards

Planning application guidance – plans and drawings

August 2017

(Local planning application requirement part 3)

This guidance note is designed to provide information to applicants on the type and standard of plans and drawings that should be submitted in support of a planning application. It is to be formally adopted as local planning application requirement part 3 and used to decide if an application is valid. It was prepared by three of the West of England Planning Authorities to achieve a common standard.

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4. [Site location plan](#)
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7. [Floor plans](#)
8. [Existing and proposed site sections and finished floor/site levels](#) – required in some cases
9. [Street Scene or context plan](#) – required in some cases
10. [Roof plans](#) – required in some cases
11. [Landscaping](#)
12. [Joinery drawings and details](#)
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15. [Acknowledgments](#)

1) Introduction

Drawings are a key part of your planning application, and it is essential that drawings are of a suitable standard and include all of the information necessary to describe the development proposal in detail and to enable your application to be assessed. It is also important that your proposals can be clearly understood by third parties (such as neighbours) who may not be familiar with reading plans and drawings, and will mostly be looking at your application online.

This guidance will assist you in making an application, help to avoid most common mistakes and reduce any delay in your proposal being considered by a planning officer.

If drawings are received that do not contain sufficient detail, your application will be invalid and the registration of your planning application will be delayed until appropriately revised or further drawings are submitted.

2) Presentation of plans and drawings.

A separate list or schedule of drawings, plans and documents, to include the drawing numbers and the plan titles, should be submitted with the application. The plans and drawings should meet the following criteria:-

- All plans and drawings must be accurately drawn, to a suitable standard, using a conventional metric scale such as 1:100 or 1:50 and the scale used should be stated on the drawing.
- Except for location plans, all plans and drawings should include a scale bar and/or measured dimensions.
- Plans/drawings containing disclaimers such as “Not to scale” and “Do not scale” will not be accepted by the council (perspectives excepted). Drawings must be drawn true to stated scales. The following statement is acceptable – “Responsibility is not accepted for errors made by others in scaling from this drawing. All construction information should be taken from figured dimensions only”.
- The clearest way to present your proposals is to group “existing” and “proposed” drawings side by side, using the same scale for both.

- Each plan/drawing should have a title box stating:
 - the address
 - the proposal
 - the title of the drawing (e.g. “existing rear elevation, proposed floor plan”)
 - the date
 - the scale of the drawing
 - the drawing number, e.g. D1, D2, D3, etc.
- Any revisions to the drawings should be clearly identified with a new number, e.g. D1a, D2b, D3c, etc. The date and details of the revision should also be indicated on the drawing.
- Plans and drawings should be annotated to make them completely understandable, e.g. if a line is shown on the plan between two properties, annotate by stating “boundary fence”.
- Every plan (including all copies) that is based upon Ordnance Survey maps should have the appropriate Ordnance Survey copyright notice.
- It is good practice to submit the site location plan on a separate sheet of paper to aid consultation.

3) How to submit your applications

Electronic submissions - We welcome the submission of applications thorough our partnership with the Planning Portal (or iApply), and you can complete the application form, submit electronic drawings and other attachments (e.g. supporting documents) and you, or your client, can pay the fee electronically. Applying in this way automatically updates our database, and is the most efficient way for us to receive applications.

Key Points:-

- All files names must confirm what is shown in the file. For example, a file showing proposed floor plans should have a file name that includes the text ‘proposedfloorplans’. Documents or files submitted without a meaningful and accurate file name will not be accepted.
- All plans, drawings and other documents should be orientated correctly so that they appear the right way when viewed. All plans, drawings and supporting documents must be presented clearly so that they can be viewed via our website easily. Overly faint drawings and text that can’t be viewed clearly will not be accepted.
- All documents and files should normally be submitted in PDF format.
- Individual files must be no larger than 10 megabytes.
- Copies of applications sent on a compact disc will not normally be accepted - except for applications submitted to Bristol City Council.
- Applications for major developments¹ must be accompanied by one full paper copy of all the plans and drawings for consultation purposes (NB this requirement does not apply to Bristol City Council).

¹ For dwellings, a major development is one where the number of residential units to be constructed is 10 or more or where the number of residential units to be to be constructed is not known, a site area of 0.5 hectares. For all other uses, a major development is one where the floor space to be built is 1,000 square metres or more, or where the site area is 1 hectare or more.

Paper Submissions – You are able to submit your application on paper, and if you do this you should send the completed application to the address at the end of the document.

Key Points:-

- If you send an application to Bristol, South Gloucestershire or Bath and North East Somerset council in paper format you only need to provide **one** copy of the plans and any accompanying documents, such as any supporting documents and the application form. Two copies are required when sending applications to North Somerset Council.
- All plans and drawings must be presented clearly so that when scanned they can be viewed via our website easily. For example overly faint lines and annotations that can't be viewed clearly will not be accepted.
- Plans should normally be submitted separately, i.e. not in a binder

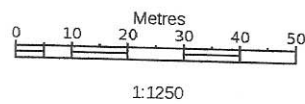
4) Site location plan

A site location plan is a map base that shows the location of the application site in relation to surrounding roads, buildings and other land.

Site location plans should:

- Be taken from an up to date Ordnance Survey Base, or to an equivalent standard.
- Be to a suitable scale of 1:1000, 1:1250 or 1:2500 for larger sites.
- Show the direction of north.
- Where possible, cover an A4 sheet of paper with the application site in the centre of the plan.
- Show the application site boundary outlined in red; this should include all land necessary to carry out the proposed development (e.g. land required for access to the site from a public highway, visibility splays, landscaping, car parking and open areas around buildings).
- Show any other adjoining land owned by the applicant outlined in blue.
- Show adjoining road names and numbers.
- Identify sufficient roads and/or buildings on nearby land to ensure that the exact location of the application site is clear. For example, in rural areas you will normally need to show two named roads.

Image 1: Site location plan (for illustrative purposes only)



52 OLD KENT ROAD
OLD LONDON TOWN.

5) Site layout plan (sometimes called a block plan)

A site layout plan shows a detailed layout of the whole site and the relationship of the proposed works with the boundary of the property, nearby roads and neighbouring buildings.

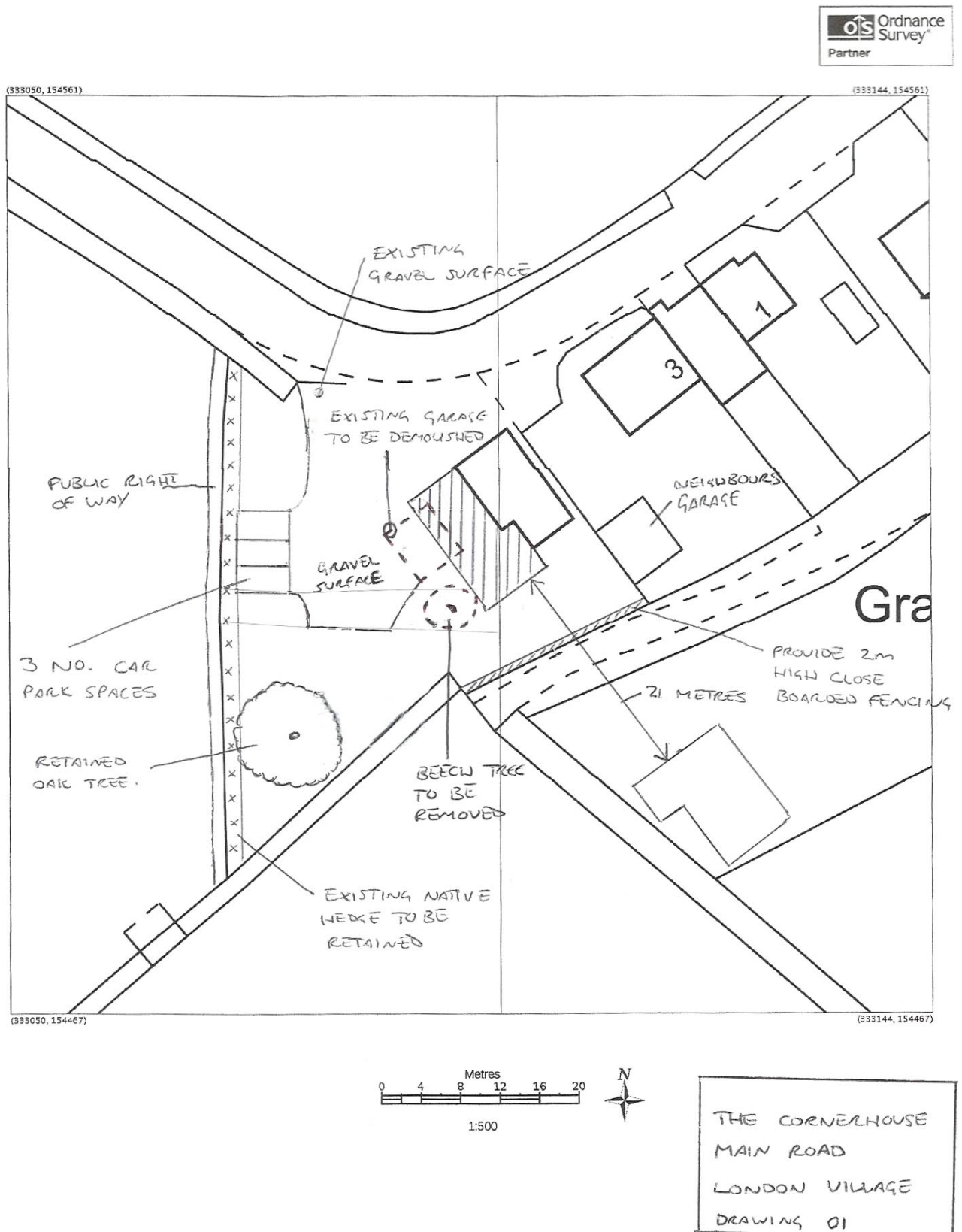
Most applications should include an existing site layout plan and a proposed site layout plan. For simple applications the existing and proposed site can be combined and shown on one plan so long as what is existing, what is proposed and what is to be demolished is highlighted and annotated clearly.

Site layout plans should:

- Be to a scale of 1:200 or 1:500
- Show the proposed development, all existing buildings and structures, the garden and other open areas.
- Show proposed buildings shaded.
- Show the position and size of existing and proposed hard surfaced areas eg parking spaces, turning areas, paths, etc.
- Show the whole of the boundary of the property, indicating the position and height of all boundary walls and fences.
- Identify any buildings to be demolished
- Include details of all trees, e.g. position, spread and species (eg oak, ash, etc).
- Identify trees proposed for felling.
- Show all roads/footpaths/public rights of way adjoining the site.
- Show all existing buildings and structures on land adjoining the application site²
- Show the direction of north.

² Buildings and structures on land adjoining the site must be clearly shown unless the applicant has demonstrated that these would NOT influence or be affected by the proposed development

Image 2: Site layout plan (for illustrative purposes only)



6) Elevations

Elevation drawings show what a building will look like from the outside.

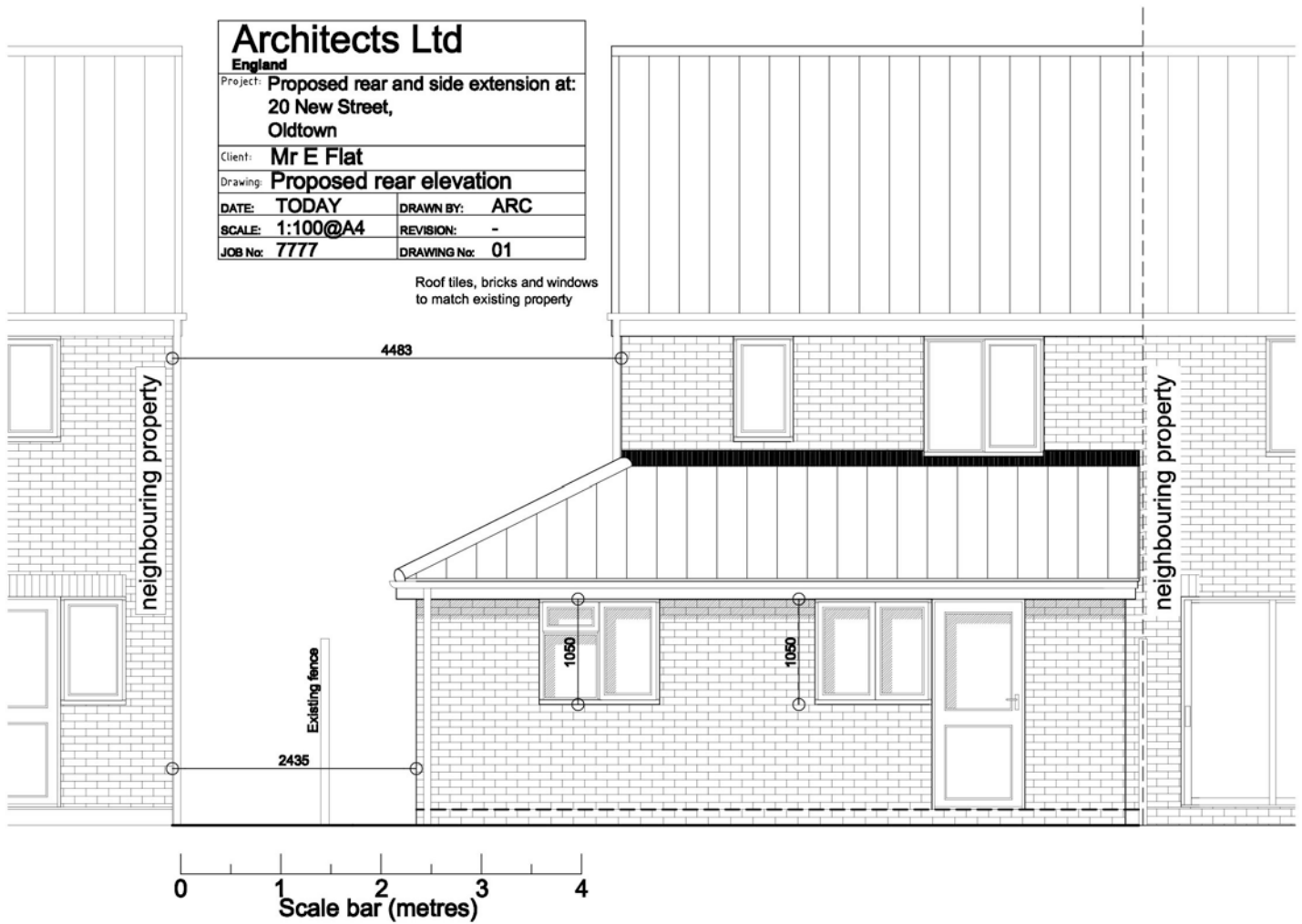
In most cases, two separate sets of elevation drawings will be required, “existing” elevations showing the building as it is now and “proposed” elevations showing how the building will look, after the works have been carried out.

Elevations should:

- Be to a scale of 1:100 or 1:50.
- Be clearly annotated existing and proposed.
- Show every elevation of the building, e.g. front, side(s) and rear and state the direction in which each elevation faces, e.g. rear (south).
- For extensions to existing buildings, show every elevation of the proposed development in situ with each relevant elevation of the existing building.
- Show the whole of any existing building to be altered/extended so that the relationship of the new building/extension to the existing can be clearly seen.
- Show outline elevations of other buildings that are close to the development. For example, a side extension close to neighbouring dwelling.
- Show the property boundary.
- Indicate the colour and type of finishing materials to be used (eg colour and type of brick, render, roof tiles etc).
- Identify building(s) to be demolished.
- Details of external materials – Please ensure that all materials are described in detail, including the colour of each material.
- Show the position and size of all windows and doors (existing and proposed).

You need to describe what the roof covering, wall facing and window frames and doors will be made of and their design, eg “double roman concrete tiles”, “roughcast render” etc. If the proposed materials will match exactly those of the existing dwelling, this may be stated on the plans.

Image 3: Elevations (for illustrative purposes only)



7) Floor plans

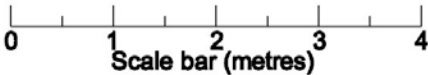
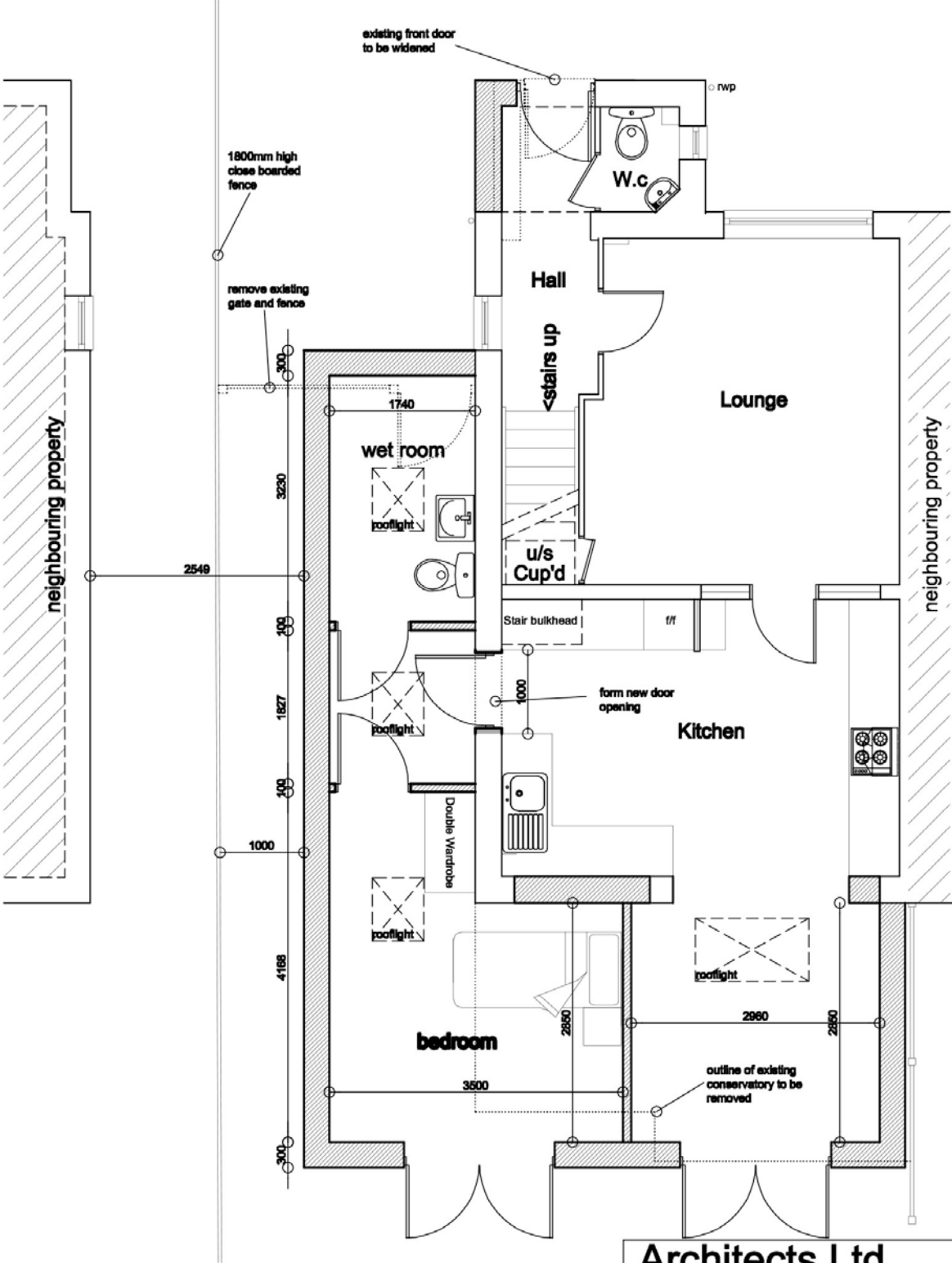
Floor plans show the layout of the building.

In most cases, two separate sets of floor plans will be required: “existing” floor plans showing the building as it is now and “proposed” floor plans showing how the building will look, after the works have been carried out.

Floor plans should:

- Be to a scale of 1:100 or 1:50.
- Be clearly annotated existing and proposed.
- Show all relevant floor levels of the building(s) being constructed, altered or extended, in relation to the remainder of the building.
- Clearly state the use of each room and include position of windows, doors, walls and partitions.
- Clearly label each floor.
- Clearly label the primary use of each room
- Identify anything to be demolished.

Image 4: Floor plans (for illustrative purposes only)



Architects Ltd England

Project: Proposed extensions to porch, side and rear at:
20 Old Street,
Newtown

Client: Mr House

Drawing: Ground floor plan

DATE: TODAY

DRAWN BY: ARC

SCALE: 1:100@A4

REVISION: -

JOB No: 8888

DRAWING No: 01

8) Existing and proposed site sections and finished floor/site levels

Where a proposal involves a significant change in ground levels, illustrative drawings should normally be submitted to show both existing and finished levels. These drawings should demonstrate how the proposed development would relate to existing site levels and neighbouring development.

In the case of householder development, the levels may be evident from floor plans and elevations, but particularly in the case of sloping sites it will be necessary to show how proposals relate to existing ground levels or where ground levels outside the extension would be modified.

Level drawings should:

- State the existing and proposed levels on the site and where levels differ from that of land immediately adjoining the site
- Be plotted on a plan (scale 1:200 or 1:500), by using spot ground levels at regular intervals in a grid pattern across the site
- Specify a fixed and identifiable datum level, usually “Above Ordnance Datum” – AOD
- State the finished floor levels of proposed buildings

Section drawings should:

- Identify existing and proposed ground levels where significant cut and fill operations are proposed, or where slopes in excess of 1 in 20 exist (or will exist)
- Show “slices” (cross sections) through buildings, normally at a scale of 1:50 or 1:100
- Show “slices” (cross sections) through land, normally at a scale of 1:200 or 1:500
- Be accompanied by a plan showing the points between which the cross sections have been taken, which should also indicate the direction of north
- Show existing and proposed buildings within and adjacent to the site
- Identify finished floor and ridge levels of buildings

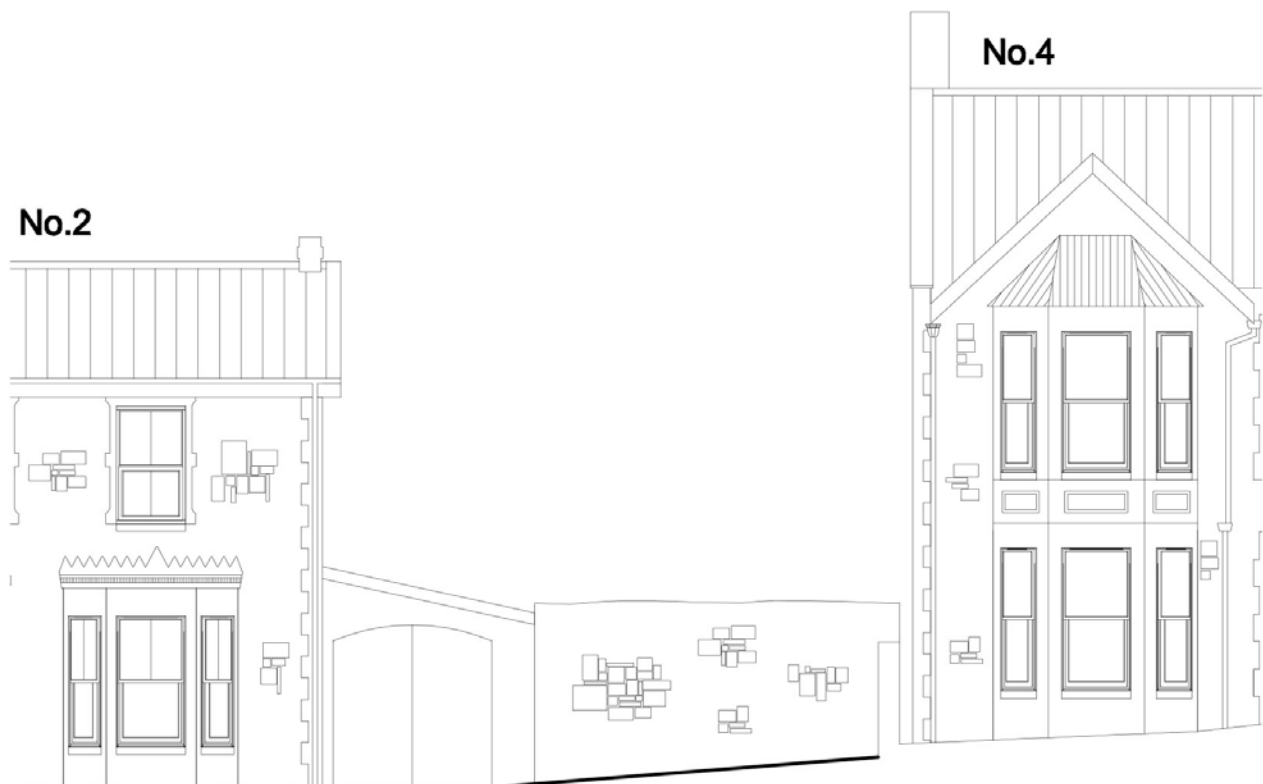
9) Street Scene or context plan

Normally required for works that will be visible from the road- especially new buildings or large side extensions that will be near to the boundary/neighbouring building, or where there is a notable difference in heights between the proposed works and neighbouring dwellings/buildings.

These should:

- be of a scale of 1:100 or 1:200
- as a minimum, accurately show the height and outline of neighbouring dwellings/buildings and the position and size of windows/doors
- accurately show any differences in levels
- include written dimensions for gaps between buildings

Image 5: Street Scene or context plan (for illustrative purposes only)



Existing street elevation



Proposed street elevation

Materials
Sandstone cills and quoins
Concrete interlocking roof tiles
Reconstituted stone
Roughcast render painted cream (on bay)

Architects Ltd England	
Project:	Proposed new dwelling at: 123 Fore Street Fife
Client:	Mr House
Drawing:	Street scenes
DATE:	TODAY
SCALE:	1:100@A4
JOB No:	9999
DRAWN BY:	ARC
REVISION:	-
DRAWING No:	01

10) Roof plans

These should be drawn to a scale of 1:50 or 1:100 and is used to show the shape of the roof particularly when development includes changes to its appearance and shape. Show the position of all ridges, valleys, dormer windows, roof lights and other features, such as chimneys or raised parapets. Details such as the roofing material and their location are typically specified on the roof plan.

11) Landscaping

Landscaping plans/details

Landscaping plans should accurately show:

- The position and spread of the existing trees.
- Details of any trees to be retained and measures to be taken to protect the trees.
- The species of the trees and details of their condition.
- An indication of which, if any, are to be felled.
- Details of the size, species and positions of trees to be planted and boundary treatments.

Landscaping schemes

In many instances the submission of landscaping details can be a condition of the planning permission. In some cases specialist detail, for example a tree survey or detailed design may be required when submitting landscaping schemes. It is recommended that you discuss with officers the scope and detail required prior to submission.

12) Joinery drawings and details

These should be accurately drawn and comply with the following standards:

- Drawn at a scale of 1:10.
- When traditional features are being replaced - existing elevations are required drawn at a scale of 1:10.
- Proposed joinery sections are required and should be drawn at a scale of 1:1 or 1:2.
- Proposed joinery sections for windows and doors should include the wall in which they are mounted to show the depth of reveal
- When traditional features are being replaced - existing joinery sections are required drawn at a scale of 1:1 or 1:2.
- Details of the proposed joinery materials are required. For example: "sustainably sourced hard wood stained with..."

13) Photographs and photomontages

These should be clearly labelled on the front of each image (not the back) with a title that explains what is shown and the exact location from which it was taken. This is best achieved by showing the location on an associated map.

14) Contact details

LPA	Postal Address	Email address/Planning Web Page	Telephone
Bath & North East Somerset Council	Lewis House, Manvers St, Bath BA1 1JG	Development_management@bathnes.gov.uk	01225 394041 (option 5)
Bristol City Council	Planning Services (CH), PO Box 3176, Bristol BS3 9FS	development.management@bristol.gov.uk Web Site: Make a Planning application	0117 9223000
North Somerset Council	Town Hall, Walliscote Grove Road, Weston-super-Mare BS23 1UJ	www.n-somerset.gov.uk/contactplanning	01275 888811

15) Acknowledgements

The example drawings were provided by Graham Moir Associates